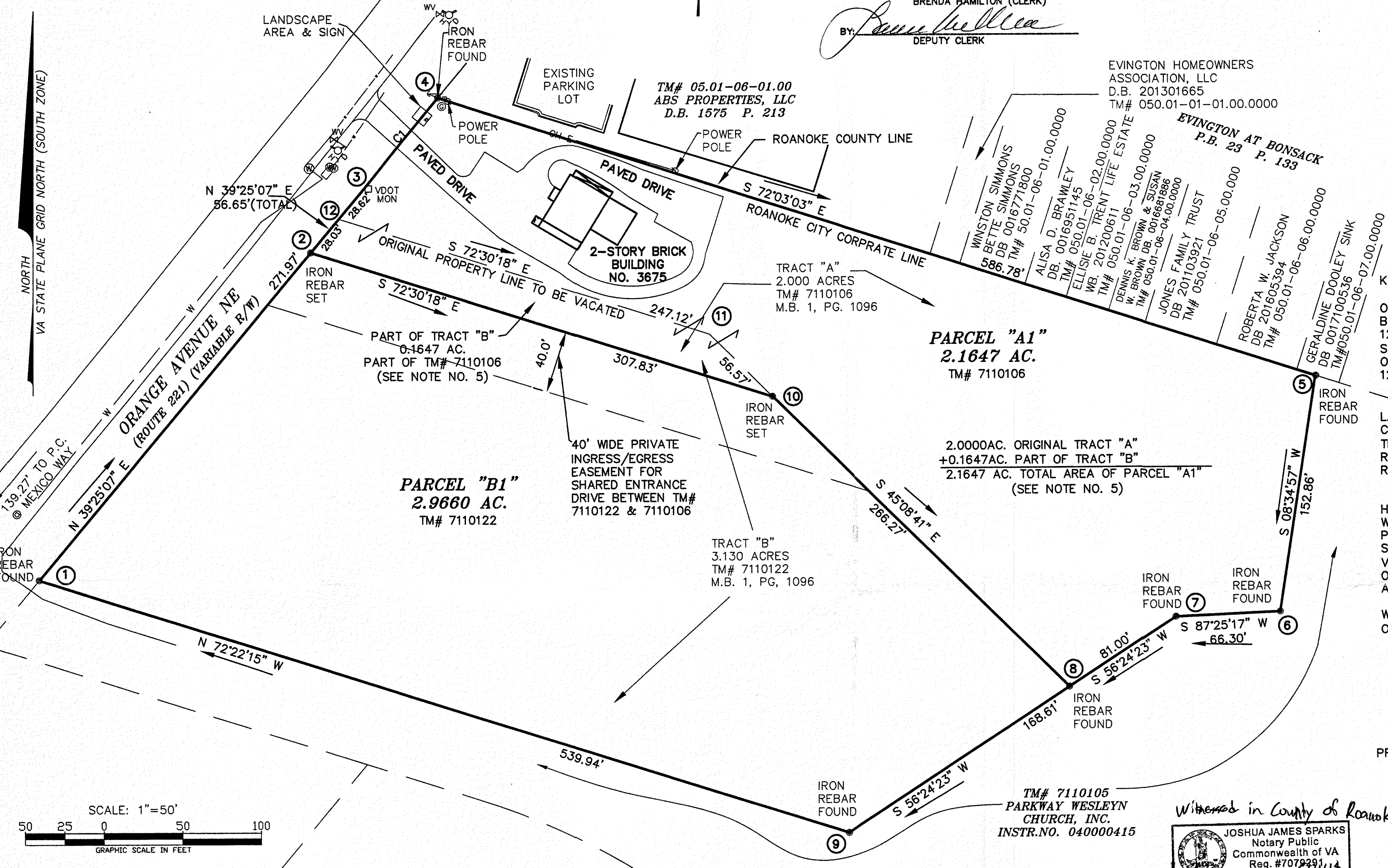
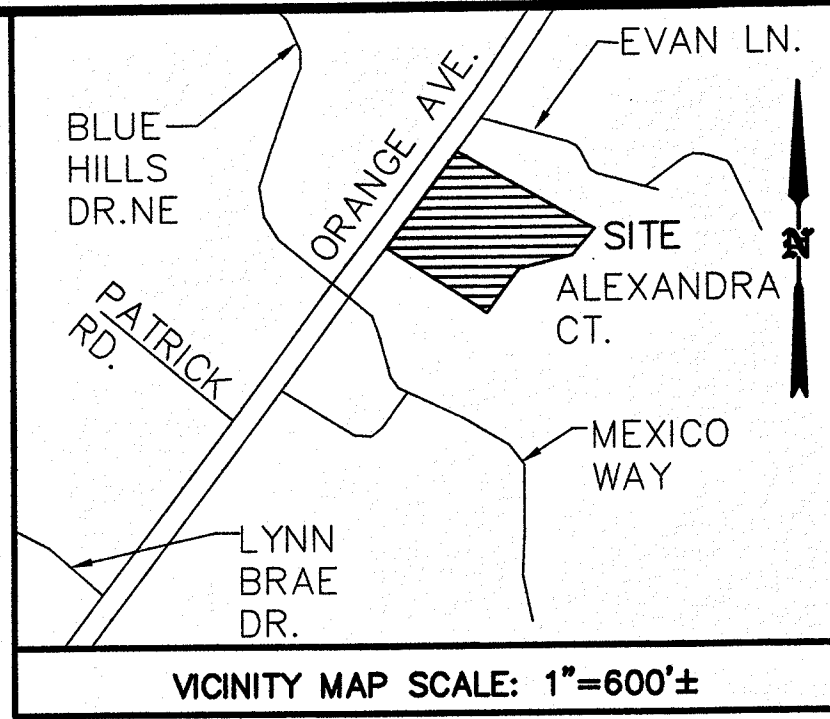


CURVE TABLE						
CURVE	DELTA	TANGENT	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	1°22'10"	35.69	71.38	2986.79	71.38	N 38°44'02" E (NO 3 TO NO 4)

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VIRGINIA. THIS MAP WAS PRESENTED WITH A CERTIFICATE OF ACKNOWLEDGEMENT THERETO ATTACHED ADMITTED TO RECORD AT 1:18 O'CLOCK P. M. ON THIS 14 DAY OF December 2016.

TESTEE: BRENDA HAMILTON (CLERK)
BY: [Signature] DEPUTY CLERK



KNOW ALL MEN BY THESE PRESENT TO WIT:
THAT 3675 ORANGE AVENUE, LLC IS THE FEE SIMPLE OWNER(S) OF LAND SHOWN HEREON AS TRACT "A". BOUNDED BY OUTSIDE CORNERS 12,3,4,5,6,7,8,11, BACK TO 12 INCLUSIVE AND IS ALL OF THE LAND CONVEYED TO SAID OWNER(S) BY DEEDS RECORDED IN THE CLERKS OFFICE OF THE CITY OF ROANOKE IN INSTRUMENT NUMBER 120013056

THAT VIAMAC, INC. IS THE FEE SIMPLE OWNER(S) OF LAND SHOWN HEREON AS TRACT "B" BOUNDED BY OUTSIDE CORNERS 1,12,11,8,9 BACK TO 1 INCLUSIVE AND IS ALL OF THE LAND CONVEYED TO SAID OWNER(S) BY DEED RECORDED IN THE CLERKS OFFICE OF THE CITY OF ROANOKE IN INSTRUMENT NUMBER 070008765.

THE PLATTING OR DEDICATION OF THE LAND SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS, AND TRUSTEES, IF ANY, AS REQUIRED BY SECTION 15.2-2240 THROUGH 15.2-2279 OF THE CODE OF VIRGINIA(1950) AS AMENDED, AND THE SUBDIVISION ORDINANCE OF THE CITY OF ROANOKE, VIRGINIA AS AMENDED.

WITNESS THE SIGNATURE AND SEALS OF THE SAID OWNER(S).

PRINTED NAME: /TITLE: Victor E. Foti, President
REPRESENTATIVE OF VIAMAC, INC.

DATE: 11/30/16 BY: Victor E. Foti
VIAMAC, INC.

PRINTED NAME: / TITLE: Victor E. Foti, Manager
REPRESENTATIVE OF 3675 ORANGE AVENUE, LLC

DATE: 11/30/16 BY: Victor E. Foti
3675 ORANGE AVENUE, LLC

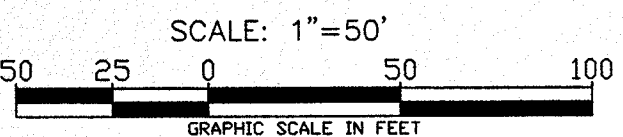
I, Joshua James Sparks, A NOTARY PUBLIC FOR THE COUNTY AFORESAID, IN THE STATE OF VIRGINIA DO CERTIFY THAT
Victor E. Foti, President

WHOSE NAMES ARE SIGNED TO THE WRITING ABOVE, BEARING THE DATE ON THE
30th DAY OF November 2016
HAVING ACKNOWLEDGED THE SAME BEFORE ME IN MY COUNTY AFORESAID GIVEN UNDER MY HAND
THIS, 30th DAY OF November 2016

Joshua James Sparks
NOTARY PUBLIC
MY COMMISSION EXPIRES 5/31/2018

VIAMAC, INC AND 3675 ORANGE AVENUE, LLC

PLAT SHOWING RECONFIGURATION OF TWO PARCELS OWNED BY VIAMAC, INC AND 3675 ORANGE AVENUE, LLC BEING NO 3675 ORANGE AVENUE CREATING HEREON PARCEL A1 AND PARCEL B1 CITY OF ROANOKE, VIRGINIA			
COMM. NO.:	20111158	REVISED:	08/29/16
SCALE:	1"=50'	DR. BY:	VPB
SHEET:	1 OF 1	CHK. BY:	REN DRW. NME. SUBD



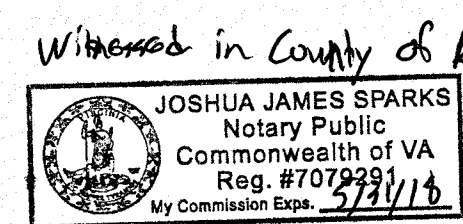
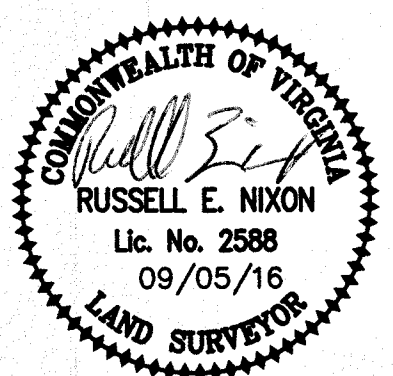
PARCEL "A1" BOUNDARY COORDINATES ORIGIN OF COORDINATES VIRGINIA STATE PLANE GRID COORDINATES		
POINT	NORTHING	EASTING
2	3638513.441	11079268.111
3	3638557.205	11079304.082
4	3638612.886	11079348.745
5	3638432.056	11079906.967
6	3638280.908	11079884.155
7	3638277.925	11079817.922
8	3638233.105	11079750.447
10	3638420.901	11079561.700
AREA = 94307.40 S.F.		

PARCEL "B1" BOUNDARY COORDINATES ORIGIN OF COORDINATES VIRGINIA STATE PLANE GRID COORDINATES		
POINT	NORTHING	EASTING
1	3638303.337	11079095.415
2	3638513.441	11079268.111
10	3638420.901	11079561.700
8	3638233.105	11079750.447
9	3638139.814	11079609.998
AREA = 129198.96 S.F.		
11	3638460.803	11079521.596
12	3638535.093	11079285.907

APPROVED: [Signature] 12/9/16
SUBDIVISION AGENT - CITY OF ROANOKE DATE

- NOTES:
- THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND DOES NOT, THEREFORE, NECESSARILY INDICATE ALL ENCUMBRANCES UPON THE PROPERTY.
 - THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100-YEAR OR OTHER RESTRICTIVE FLOOD BOUNDARIES AS DESIGNATED BY CURRENT FEDERAL EMERGENCY AGENCY (FEMA) MAP PANEL NO. 51161C0167G DATED SEPTEMBER 28, 2007.
 - THIS PLAT HAS BEEN PREPARED FROM AN ACTUAL FIELD SURVEY DONE PER DATE OF THIS PLAT AND THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN HEREON.
 - 0.1647 ACRES PART OF TRACT "B" WILL BE ADDED TO 2.000 ACRES NEW PARCEL "A1" AND BECOME INTEGRAL PART THEREOF. THE TOTAL COMBINED AREA FOR NEW PARCEL "A1" WILL BE 2.1647 ACRES.
 - ← DENOTES TO BE ONE PARCEL.
 - THIS PLAT DOES NOT CONVEY PROPERTY, ONLY A DEED OF CONVEYANCE RECORDED IN THE CLERKS OFFICE RECORD ROOM CAN CONVEY THE PROPERTY TO ANY GRANTEE.

THIS SUBDIVISION SURVEY PLAT WAS PREPARED USING AN ACTUAL AND CURRENT FIELD SURVEY MADE UNDER MY SUPERVISION AND COMPLIES WITH THE MINIMUM STANDARDS AND PROCEDURES AS SET FORTH BY THE VIRGINIA STATE APPLICABLE BOARD.



OWNER & SOURCE:
TM# 7110122
VIAMAC, INC
5070 CELL TOWER DRIVE
ROANOKE, VA. 24018
SOURCE: INSTR.NO. 070008765

TM# 7110106
3675 ORANGE AVENUE, LLC
5070 CELL TOWER DRIVE
ROANOKE, VA. 24018
SOURCE: INST NO. 120013056

SURVEYED FOR:
Nixon Land Surveying, L.L.C.
1063C Airport Road
Lynchburg, VA 24502
Phone: (434) 237-3600
Fax: (434) 237-0699
Email: russ@nixonlsec.com
www.nixonlsec.com

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