

KNOW ALL MEN BY THESE PRESENTS TO WIT:

THAT MOUNTAIN BROOK BUILDERS INC. IS THE FEE SIMPLE OWNER OF THE PARCELS OF LAND SHOWN HEREON BOUNDED BY CORNERS 1 THROUGH 8 TO 11 THROUGH 13 TO 1, INCLUSIVE, AND CORNERS 8 THROUGH 11 TO 8, INCLUSIVE, AND BEING A PORTION OF THE LAND CONVEYED TO SAID OWNER BY INSTRUMENT RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VIRGINIA BY INSTRUMENT NUMBER 160005472.

THE SAID OWNER HEREBY CERTIFIES THAT THE PLAT OF THE LAND AS SHOWN HEREON, AS REQUIRED BY SECTION 15.2-2240 THROUGH 15.2-2279 OF THE CODE OF VIRGINIA (1950) AS AMENDED, AND THE SUBDIVISION ORDINANCE OF THE CITY OF ROANOKE, VIRGINIA; IS ENTIRELY WITH ITS OWN FREE WILL AND CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNERS OR PROPRIETORS OF THE LAND AND THE TRUSTEES IN ANY DEED OF TRUST, OR OTHER INSTRUMENT IMPOSING A LIEN UPON SUCH LAND, IF ANY THERE BE.

IN WITNESS WHEREON ARE HEREBY PLACED THE FOLLOWING SIGNATURE AND SEAL:

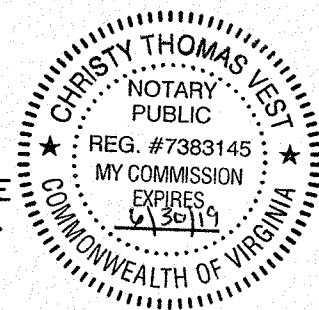
MOUNTAIN BROOK BUILDERS INC.

BY: Edward Lindsey ITS: President

Edward Lindsey
PRINT NAME

STATE OF VIRGINIA

City OF Roanoke
I, Christy Thomas Vest, A NOTARY PUBLIC IN AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT Edward Lindsey, WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT, HAS PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE SAME ON THIS 24 DAY OF April, 2017.
Christy Thomas Vest REG. # 7383145
NOTARY PUBLIC
MY COMMISSION EXPIRES 6/30/19



APPROVED:

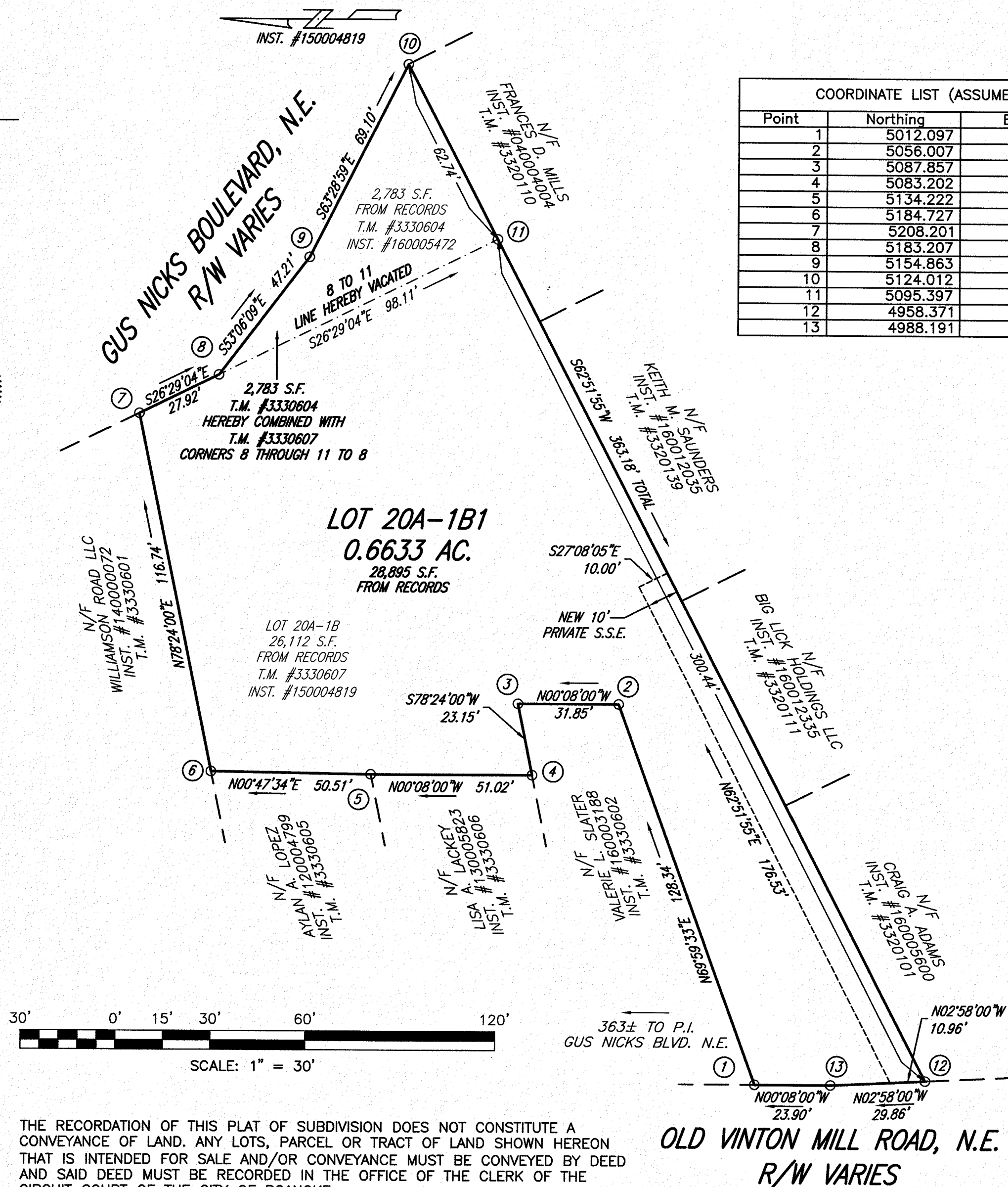
4/25/17
SUBDIVISION AGENT DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF CITY OF ROANOKE, VIRGINIA, THIS MAP WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED TO RECORD AT 12:10 O'CLOCK P.M. ON THIS 26 DAY OF April, 2017, IN INSTRUMENT # 170005384.

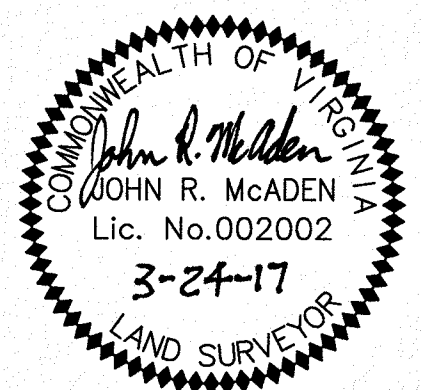
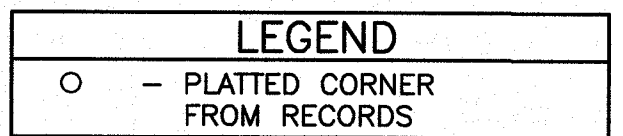
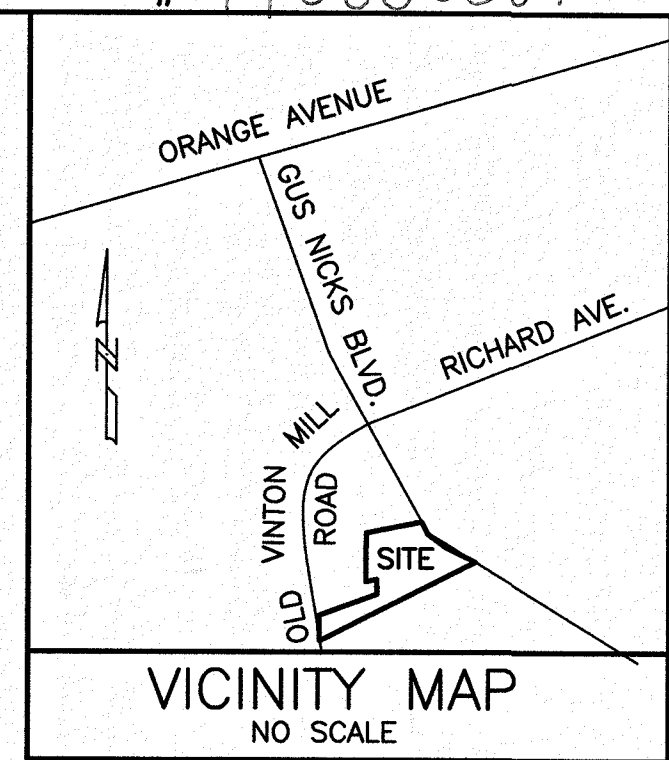
TESTE: BRENDA S. HAMILTON
CLERK
Brenda S. Hamilton
DEPUTY CLERK

NOTES:

1. OWNER OF RECORD: MOUNTAIN BROOK BUILDERS INC.
2. LEGAL REFERENCE: INSTRUMENT #160005472
INSTRUMENT #150004819 (PLAT)
3. ORIGINAL TAX MAP #3330607 (LOT 20A-1B)
TAX MAP #3330604
4. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
5. PROPERTY MAY CONTAIN UNDERGROUND UTILITY SERVICE LINES.



COORDINATE LIST (ASSUMED)		
Point	Northing	Easting
1	5012.097	4811.323
2	5056.007	4931.917
3	5087.857	4931.843
4	5083.202	4909.166
5	5134.222	4909.047
6	5184.727	4909.746
7	5208.201	5024.101
8	5183.207	5036.555
9	5154.863	5074.309
10	5124.012	5136.140
11	5095.397	5080.305
12	4958.371	4812.933
13	4988.191	4811.387



I HEREBY CERTIFY THAT THIS PLAT IS FROM RECORDS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

John R. McAden
JOHN R. MCADEN 002002

COMBINATION PLAT FROM RECORDS FOR
MOUNTAIN BROOK BUILDERS INC.
BEING THE RESUBDIVISION OF
LOT 20A-1B AS SHOWN ON
"SUBDIVISION FOR KEITH M. SAUNDERS"
INSTRUMENT #150004819
AND
T.M. #3330604 - INSTRUMENT #160005472
CREATING HEREON
LOT 20A-1B1 (0.6633 ACRE)
AND
A NEW 10' PRIVATE SEWER EASEMENT
891 OLD VINTON MILL ROAD, N.E. AND
GUS NICKS BOULEVARD, N.E.
CITY OF ROANOKE, VIRGINIA
DATED MARCH 24, 2017
JOB #05170068.HS
SCALE: 1" = 30'
SHEET 1 OF 1



DRN: SCB
CHK: JRM

TEL: 540-772-9580 FAX: 540-772-8050
PLANNERS ARCHITECTS ENGINEERS SURVEYORS
Balzer & Associates, Inc. 1208 Corporate Circle Roanoke Va. 24018

THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY CURRENT FEMA MAPS. PROPERTY IS IN ZONE X UNSHADED. SEE MAP #51161C0166G (REVISED DATE: SEPTEMBER 28, 2007)

1100-2115