

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	EXIST	EXISTING	RYS	REAR YARD SETBACK
ASPH	ASPHALT	FDN	FOUNDATION	SAN	SANITARY
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FG	FINISH GRADE	SD	STORM DRAIN
BLDG	BUILDING	GBE	GRADE BREAK ELEVATION	SECT	SECTION
BLK	BLOCK	GBS	GRADE BREAK STATION	SE	SLOPE EASEMENT
BM	BENCHMARK	HOA	HIGH POINT	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE STA.	HPT	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE ELEV.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MIN	MINIMUM	TC	TOP OF CURB
DBL	DOUBLE	MBL	MINIMUM BUILDING LINE	TEL	TELEPHONE
DEFL	DEFLECTION	MON	MONUMENT	TRANS	TRANSFORMER
DI	DROP INLET	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DIA	DIAMETER	PROP	PROPOSED	TYP	TYPICAL
DE	DRAINAGE EASEMENT	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	PVMT	PAVEMENT	VERT	VERTICAL
ELEV	ELEVATION	R	RADIUS	VSD	VERTICAL SIGHT DISTANCE
ENTR	ENTRANCE	RT	RIGHT	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	R.O.W.	RIGHT OF WAY	YD	YARD
EVCE	END VERT. CURVE STA.	REQD	REQUIRED		
EVCS	END VERT. CURVE ELEV.	RR	RAILROAD		



MODEL: PLK1562SP PROTOTYPE
1445 TOWNE SQUARE BOULEVARD, N.W.

SHEET INDEX

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C11	LANDSCAPE PLAN
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C13	DETAILS B
C14	DETAILS C
E4.1	SITE LIGHTING
E4.2	EXTERIOR FIXTURE CUTS
E4.3	EXTERIOR FIXTURE CUTS
E4.4	EXTERIOR FIXTURE CUTS

STANDARD CITY OF ROANOKE CONSTRUCTION
PROCEDURE REQUIREMENTS:

NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS:
FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

LAND DISTURBANCE PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

PLANS AND PERMITS: A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

SITE & BUILDING INFORMATION:

OWNER: TOWN SQUARE LLC
1445 TOWNE SQUARE BLVD. NW.
ROANOKE, VA 24012

DEVELOPER & LESSEE: MINERS CHICKEN CORPORATION C/O WAJHA KHAN
10496 DUNN MEADOW ROAD
VIENNA, VA 22182

TAX PARCEL NO.: 6640116

EXISTING USE: VACANT PARKING AREA

PROPOSED USE: EATING ESTABLISHMENT W/DRIVE-THRU

ACCESSORY USE: DRIVE-THRU FACILITY (SECTION 36.2-409)

ZONING: CLS - COMMERCIAL LARGE SITE

SITE AREA: 23.5683 ACRES TOTAL

DISTURBED AREA: 1.11 ACRES

WATER/SEWER: PUBLIC BY W.V.W.A.

BUILDING AREA/NO. OF STORIES: 3,149 S.F. - 1 STORY

MINIMUM PARKING REQUIRED: 1 SPACE/100 S.F. NET FLOOR AREA

3,008 S.F. (NET PER ARCH PLANS)

3,149 S.F. GROSS F.A. X 0.75 = 2,362 S.F. NET F.A.

24 PARKING SPACES REQUIRED

NO MAX FOR PROPOSED USE

24 SPACES ADJACENT TO BLDG. (CROSS PARKING ALLOWED W/SHOPPING CENTER)

REQUIRED STACKING SPACES: 5 SPACES

PROVIDED STACKING SPACES: 5+

SETBACKS: FRONT: 0' MIN. / NONE - MAX.
SIDE: 0'
REAR: 0'

MAX. FLOOR AREA RATIO ALLOWED/PROVIDED: 5.0/.21

207,812 S.F. EXISTING

3,149 S.F. POPEYES

210,961 S.F. TOTAL BUILDING AREA

IMPERVIOUS SURFACE RATIO ALLOWED/PROVIDED: 80%/EX. 87% MAINTAINED

MAXIMUM BUILDING HEIGHT ALLOWED/PROPOSED: NONE/19'-8"

GROUND FLOOR TRANSPARENCY MIN. REQ'D/PROVIDED: NONE

OCCUPANCY TYPE: ASSEMBLY - A2

BUILDING CLASSIFICATION: TYPE VB - UNPROTECTED, UNSPRINKLERED

CITY OF ROANOKE & UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - GEORGE NEVERGOLD (540) 853-6501

ROANOKE GAS COMPANY - DON JONES (540) 777-3851

VERIZON - WILARD DIETZ (540) 265-7510

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - CHRIS CAREY (540) 853-5637



ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED DECEMBER 2015.

COMPREHENSIVE
SITE PLAN #:
CP160010

City of Roanoke
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: [Signature] Date: 8/25/16

Development Engineer: [Signature] Date: 8-25-2016

Zoning Administrator: [Signature] Date: 8/25/16

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

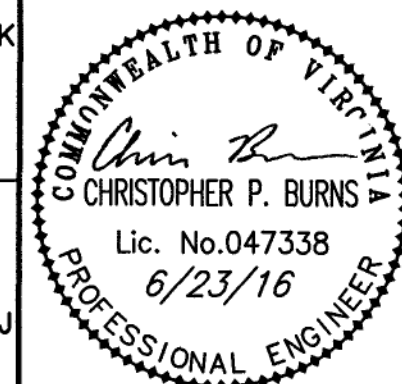
CITY OF ROANOKE APPROVAL BLOCK

BALZER
AND ASSOCIATES, INC.
www.balzer.cc

Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
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TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.
1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



2" Endot Service
1 1/2" meter
6" National Sewer pipe
50 & 26

POPEYE'S LOUISIANA KITCHEN
1445 TOWNE SQUARE BOULEVARD, NW.
COVER SHEET
CITY OF ROANOKE, VIRGINIA

DRAWN BY: BTC
DESIGNED BY: BTC
CHECKED BY: CPB
DATE: 5/2/2016
SCALE: N/A
REVISIONS:
6/1/2016
6/23/2016

SHEET NO.
C1
JOB NO. 04150039.00