

GENERAL SITE NOTES:

1. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
3. GENERAL CONTRACTOR TO FIELD VERIFY PAVEMENT TIE IN LOCATIONS AND ELEVATIONS AND ENSURE POSITIVE DRAINAGE AS SHOWN WITHIN THE PLAN SET.
4. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
5. ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
6. G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
7. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS.
8. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.
9. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.
10. ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET, TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERMIT.
11. G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.
12. THE DUMPSTER OR REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4, SUPPLEMENTAL REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE DUMPSTER SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE DUMPSTER AND THE OPACITY OF THE SCREENING A SOLID FENCE MATERIAL. SEE SHEET C12 FOR DUMPSTER ENCLOSURE AND GATE DETAILS.
13. ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE INSTALLED AND AIMED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.
14. NO OUTDOOR STORAGE IS PROPOSED AS PART OF THIS PROJECT AT THIS TIME.

UTILITY NOTES:

1. G.C. SHALL COORDINATE THE EXACT SANITARY SEWER, WATER, AND STORM SEWER BUILDING TIE-IN LOCATIONS WITH THE ARCHITECTURAL PLANS.
2. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2-610. WATER & SEWER CONNECTIONS SHALL CONFORM TO WWA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE.
3. G.C. SHALL VERIFY THE EXACT DEPTH OF THE EXISTING S.S. LATERAL VERTICAL ELEVATION PRIOR TO ANY BUILDING, SANITARY, OR STORM CONSTRUCTION.
4. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDINGS.
5. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED BUILDING AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC.

EXISTING FIRE HYDRANT FLOW DATA:

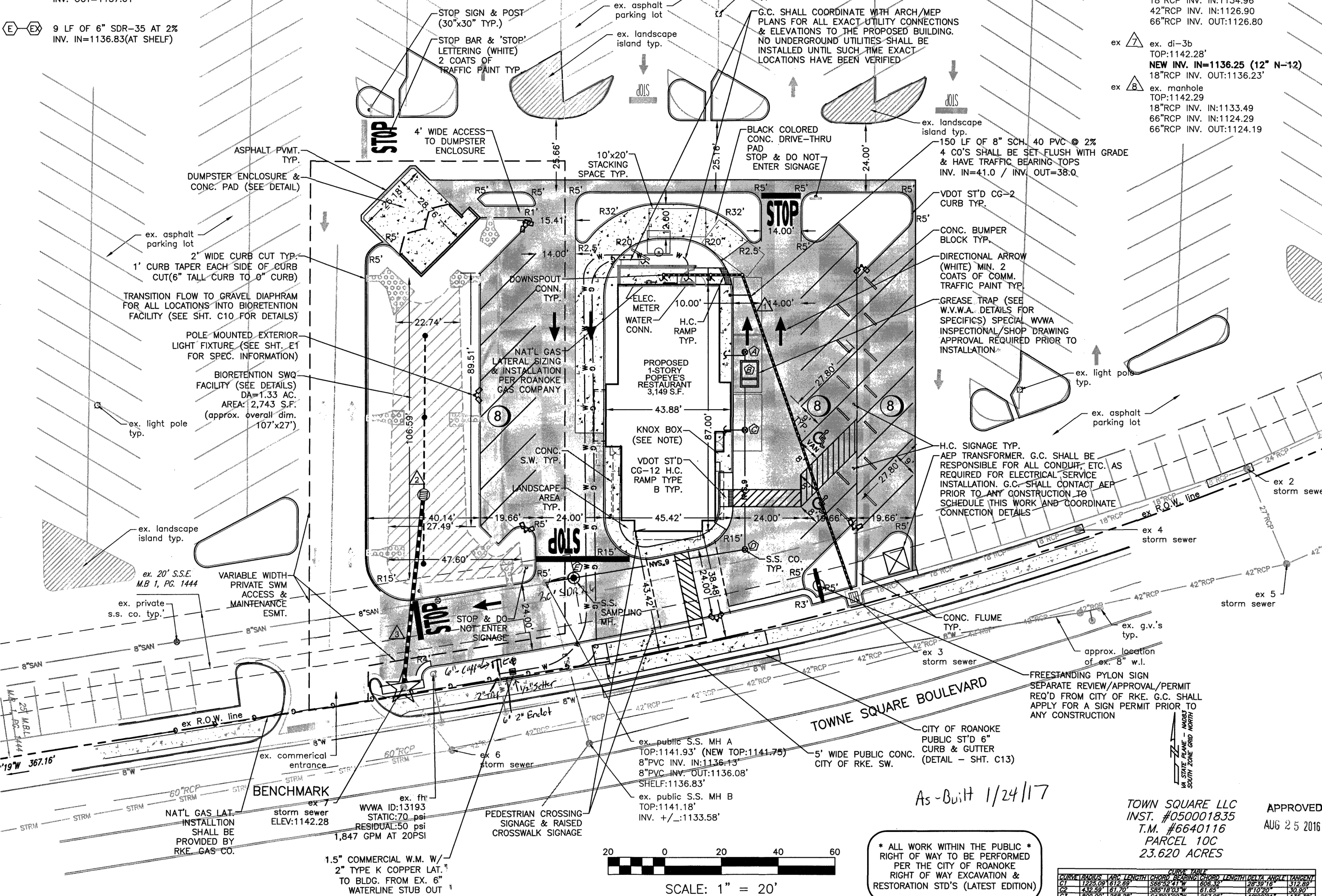
1. 1445 TOWNE SQUARE BOULEVARD NW
AUTHORITY ID - 13193
70 PSI STATIC
50 PSI RESIDUAL
1,126 GPM
1,847 GPM @ 20 PSI
2. 1445 TOWNE SQUARE BOULEVARD NW
AUTHORITY ID - 13168
72 PSI STATIC
42 PSI RESIDUAL
1,061 GPM
1,429 GPM @ 20 PSI
3. 1445 TOWNE SQUARE BOULEVARD NW
AUTHORITY ID - 10880
70 PSI STATIC
50 PSI RESIDUAL
1,113 GPM
1,826 GPM @ 20 PSI
4. G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF THE BUILDING PER CITY OF ROANOKE STANDARDS IN REGARDS TO MOUNTING HEIGHT AND TYPE OF KNOX BOX. SEE ARCH PLANS FOR KNOX BOX SPECIFIC LOCATION. CONTACT FIRE MARSHALL'S OFFICE FOR ORDERING INFORMATION.

PROPOSED STORM SEWER SCHEDULE:

1. BLDG. ROOF LEADERS
150 LF OF 8" SCH. 40 PVC PIPE
AT MIN. 2% W/ (4) 6" CO.
SET FLUSH WITH FINAL GRADE
INV. IN=1141.0
INV. OUT=1138.0 (ex. str. 3)
2. 48" CONC. RISER W/TRASH RACK
TOP=1141.25
(2) INV. IN=1136.67 (6" SCH. 40 PVC UNDERDRAIN)
INV. OUT=1136.57 (12" N-12 HDPE PIPE)
3. 65 LF OF 12" (12" N-12 HDPE PIPE)
HDPE PIPE AT 0.5%
(SEE BACKFILL SPECIFICS SHOWN ON SHEET C5 FOR TRANSITION)
INV. OUT=1136.25

PROPOSED SANITARY SEWER SCHEDULE

- (A) S.S. CO (TRAFFIC BEARING)
TOP=1143.15
INV.=1139.50
- (B) 1,500 GALLON GREASE INTERCEPTOR
(SEE W.V.W.A. DETAILS & SHOP DWG.
SUBMITTAL REQUIREMENTS)
TOP=1143.15
INV.=1139.37
- (B-C) 14 LF OF 6" PVC OF SCH. 80 PVC AT 2%
- (C) S.S. CO (TRAFFIC BEARING)
TOP=1143.15
INV.=1139.09
- (C-D) 40 LF OF 6" PVC OF SCH. 80 PVC AT 2%
- (D) S.S. CO (TRAFFIC BEARING)
TOP=1142.65
INV.=1138.29
- (D-E) 59 LF OF 6" SDR-35 AT 2%
- (E) S.S. SAMPLING MANHOLE
TOP=1142.15
IN. IN=1137.11
INV. OUT=1137.01
- (E-EX) 9 LF OF 6" SDR-35 AT 2%
INV. IN=1136.83(AT SHELF)



EX. STORM STRUCTURE SCHEDULE:

- ex. di-3b curb inlet
TOP=1140.39
18" RCP INV. IN:1132.79'
24" RCP INV. OUT:1132.59'
- ex. di-3b curb inlet
TOP=1141.19
18" RCP INV. IN:1132.79'
24" RCP INV. IN:1132.49'
27" RCP INV. OUT:1131.14'
- ex. di-3b curb inlet
TOP TO BE REPLACED W/DI-7
TYPE III GRATE
NEW TOP=1140.5
TOP=1142.08'
NEW INV. IN=1138 (8" SCH.40 PVC)
18" RCP INV. OUT:1134.88'
- ex. di-3b curb inlet
TOP=1141.36'
18" RCP INV. IN:1133.24'
18" RCP INV. OUT:1133.19'
- ex. manhole
TOP=1139.69'
27" RCP INV. IN:1130.10
42" RCP INV. IN:1128.03
42" RCP INV. OUT:1127.93
- ex. manhole
TOP=1141.46'
18" RCP INV. IN:1134.96
42" RCP INV. IN:1126.90
66" RCP INV. OUT:1126.80
- ex. di-3b
TOP=1142.28'
NEW INV. IN=1136.25 (12" N-12)
18" RCP INV. OUT:1136.23'
- ex. manhole
TOP=1142.29
18" RCP INV. IN:1133.49
66" RCP INV. IN:1124.29
66" RCP INV. OUT:1124.19



www.balzer.cc

Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
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LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

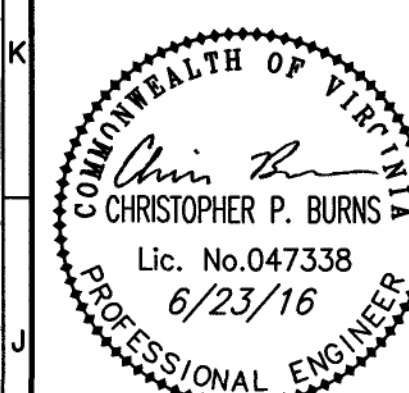
Balzer and Associates, Inc.

1208 Corporate Circle

Roanoke, VA 24018

540-772-9580

FAX 540-772-8050



POPEYE'S LOUISIANA KITCHEN
1445 TOWNE SQUARE BOULEVARD, NW.

LAYOUT PLAN

CITY OF ROANOKE, VIRGINIA

DRAWN BY BTC

DESIGNED BY BTC

CHECKED BY CFB

DATE 5/2/2016

SCALE 1"=20'

REVISIONS:

6/1/2016

6/23/2016

SHEET NO.

C3

JOB NO. 04150039.00

* ALL WORK WITHIN THE PUBLIC *
RIGHT OF WAY TO BE PERFORMED
PER THE CITY OF ROANOKE
RIGHT OF WAY EXCAVATION &
RESTORATION STD'S (LATEST EDITION)

TOWN SQUARE LLC
INST. #050001835
T.M. #6640116
PARCEL 10C
23.620 ACRES

APPROVED
AUG 25 2016

DATE	BY	REVISION
05/02/2016	BTC	1.00
06/01/2016	CFB	1.01
06/23/2016	CFB	1.02