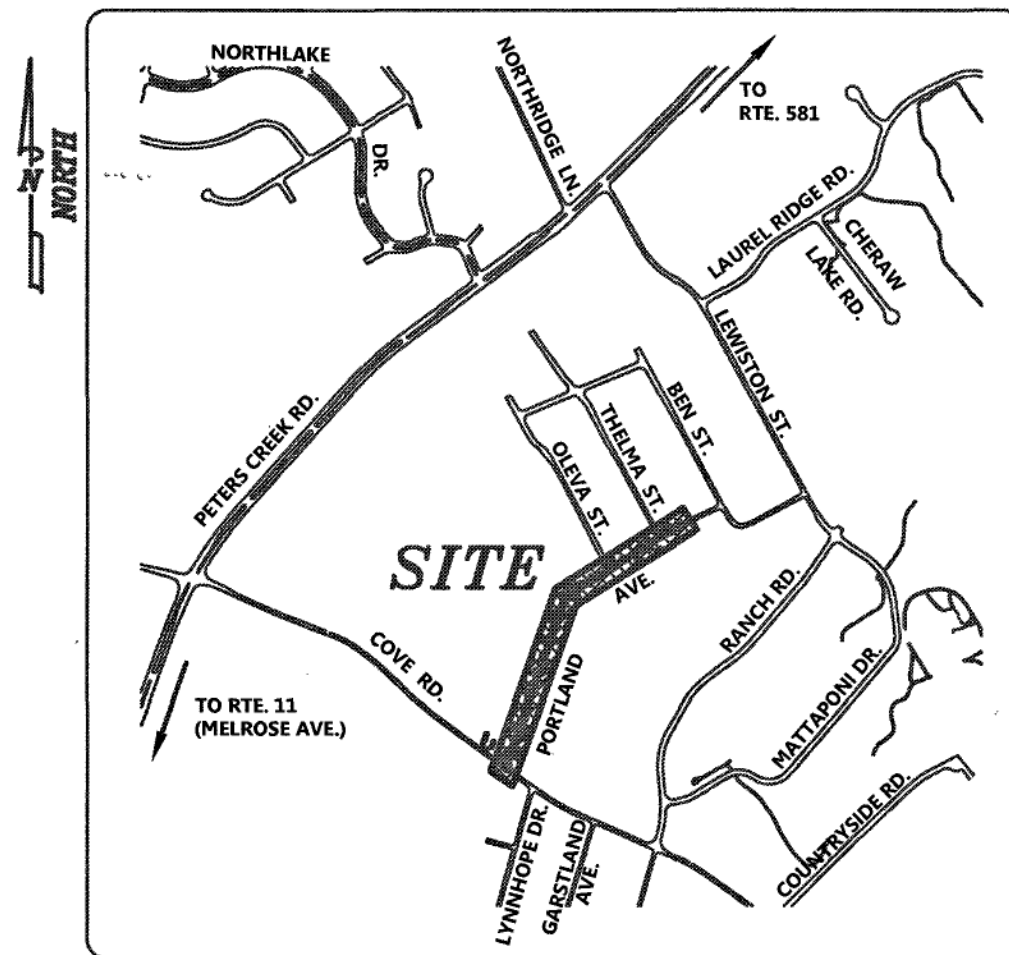


PORTLAND AVENUE DRAINAGE IMPROVEMENTS

CITY OF ROANOKE, VIRGINIA

DISTURBED AREA PER INLET	
INLET	DISTURBED AREA
B1	879 SF
B2	3,634 SF
C1	2,062 SF
C2	6,908 SF
E1	2,653 SF
E2	3,627 SF
I1	6,908 SF
I2	6,145 SF
J1	56 SF
J2	62 SF
M1	79 SF
M2	61 SF



VICINITY MAP:
SCALE: 1"=1200'

SHEET INDEX	
SHEET #	SHEET TITLE
C0-01	COVER SHEET
C1-01	EXISTING CONDITION AND DEMOLITION PLAN
C1-02	EXISTING CONDITION AND DEMOLITION PLAN
C1-03	EXISTING CONDITION AND DEMOLITION PLAN
C1-04	EXISTING CONDITION AND DEMOLITION PLAN
C3-01	STORM PLAN & PROFILE
C3-02	STORM PLAN & PROFILE
C3-03	STORM PLAN & PROFILE
C3-04	STORM PLAN & PROFILE
C3-05	STORM PROFILES
C3-06	STORM DETAILS
C3-07	SITE DETAILS
C4-01	SANITARY SEWER PLAN & PROFILE
C4-02	SANITARY SEWER PLAN & PROFILE
C4-03	SANITARY SEWER PLAN & PROFILE
C4-04	WATERLINE PROFILES
C4-05	WATERLINE PROFILES
C4-06	UTILITY DETAILS
C4-07	UTILITY DETAILS
C5-01	EROSION AND SEDIMENT CONTROL PLAN
C5-02	EROSION AND SEDIMENT CONTROL PLAN
C5-03	EROSION AND SEDIMENT CONTROL DETAILS
C5-04	EROSION AND SEDIMENT CONTROL NOTES

CITY OF ROANOKE CONSTRUCTION NOTES:

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

- RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
- PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
- STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
- APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

GENERAL NOTES:

- OWNER REPRESENTATIVE: PRISCILLA CYGIELNIK
CITY OF ROANOKE - ENGINEERING DEPARTMENT
215 CHURCH AVENUE, S.W. - ROOM 350
ROANOKE, VA 24011
- ALL WORK PROPOSED IN THESE PLANS IS TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS OBTAINED.
- NO GRAVES, STRUCTURES, OR OBJECTS MARKING A PLACE OF HUMAN BURIAL WERE FOUND AT TIME OF SURVEY.
- THE SUBJECT LANDS DEPICTED HEREON DO NOT LIE WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SUBJECT LANDS LIE WITHIN "UNSHADED ZONE X - OTHER AREAS", AS DEFINED BY F.E.M.A. & AS SHOWN ON F.I.R.M. MAP NO. 51161C0153G, EFFECTIVE DATE OF SEPTEMBER 28, 2007. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
- PLANNING AREAS
TOTAL DISTURBED AREA: ±35,497 SF (0.81 AC.)
- A PRE-CONSTRUCTION MEETING WITH THE CITY WILL BE HELD PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN.
- UNLESS SHOWN OR SPECIFIED OTHERWISE, METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS, AND VDOT ROAD AND BRIDGE SPECIFICATIONS. LATEST EDITIONS, SHOULD A LOCALITY HAVE SPECIFICATIONS OF ITS OWN, THE MORE STRINGENT SHALL APPLY.
- ALL ACTIVITIES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO VDOT WORK AREA PROTECTION MANUAL (MOST RECENT EDITION)
- BY THE END OF CONSTRUCTION, PROVIDE LEGIBLE, SURVEYED MARK-UPS OF AS-BUILT SITE CONSTRUCTION ITEMS ON SITE PLANS TO THE OWNER FOR PREPARATION OF SITE RECORD DRAWINGS.
- CONTRACTOR SHALL ENSURE THAT EGRESS FOR FIRE ACCESS FOR THE SITE IS MAINTAINED AT ALL TIMES.
- MAINTAIN EMERGENCY SERVICE AND DELIVERY VEHICLE ACCESS TO THE SURROUNDING AREA AND COORDINATE THIS WITH THE OWNER.
- THESE PLANS SHALL BE USED IN CONJUNCTION WITH THE TECHNICAL SPECIFICATIONS AND PROJECT MANUAL.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE, WHO SHALL PROMPTLY CORRECT SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR WITHOUT DIRECTION AFTER HIS DISCOVERY OF SUCH INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN THAT MEETS ALL VDOT AND CITY OF ROANOKE STANDARDS AND REQUIREMENTS.

LEGEND:

---	PROPERTY LINE	⊗	EXISTING GAS VALVE
---	EXISTING 1' CONTOURS	⊗	EXISTING GAS METER
---	PROPOSED 1' CONTOURS	⊗	EXISTING LIGHT POLE
---	EXISTING SPOT ELEVATION	⊗	EXISTING WELL
---	PROPOSED SPOT ELEVATION	⊗	DRILL HOLE
---	PROPOSED TOP CURB ELEVATION	⊗	EXISTING FIRE HYDRANT
---	PROPOSED BOTTOM CURB ELEVATION	⊗	PROPOSED FIRE HYDRANT
---	EXISTING SANITARY SEWER	⊗	PROPOSED FIRE HYDRANT LABEL
---	PROPOSED SANITARY SEWER	⊗	EXISTING WATER VALVE
---	EXISTING WATERLINE	⊗	PROPOSED WATER VALVE AND REDUCER
---	PROPOSED WATERLINE	⊗	EXISTING WATER METER
---	EXISTING STORM SEWER	⊗	PROPOSED WATER METER
---	PROPOSED STORM SEWER	⊗	EXISTING SEWER CLEANOUT
---	EXISTING EDGE OF PAVEMENT	⊗	PROPOSED SEWER CLEANOUT
---	PROPOSED PAVEMENT	⊗	EXISTING SEWER MANHOLE
---	EXISTING BUILDING	⊗	PROPOSED SAN. SEW. STRUCTURE LABEL
---	PROPOSED BUILDING	⊗	PROPOSED STORM. SEW. STRUCTURE LABEL
---	EXISTING OVERHEAD ELECTRIC	⊗	EXISTING SHRUB
---	EXISTING BURIED ELECTRIC	⊗	EXISTING TREE
---	EXISTING BURIED CABLE TV LINE	⊗	PROPOSED TREE
---	EXISTING GAS LINE	⊗	EXISTING SIGN
---	EXISTING BURIED TELEPHONE LINE	⊗	BORE HOLE/TEST PIT
---	EXISTING FENCE LINE	⊗	CONTROL POINT
---	EXISTING TREELINE	⊗	IRON ROD FOUND
---	BENCHMARK LOCATION	⊗	IRON ROD SET
---	TO BE REMOVED	⊗	PROPERTY CORNER
---	EXISTING TELEPHONE PEDESTAL		

ABBREVIATION LEGEND:

A/C	AT	LB.	POUND
ACR(S)	AIR CONDITIONER	M	METER
ALT.	APPROXIMATE LOCATION	M.B.L.	MINIMUM BUILDING LINE
APPROX.	APPROXIMATE	MAG.	MAGISTERIAL
AVG.	AVERAGE	MAX.	MAXIMUM
B.M.	BENCHMARK	MB	MAIL BOX
BC	BOTTOM OF CURB	MI	MANHOLE
BLVD.	BOULEVARD	MIN.	MINIMUM
BSMT	BASEMENT	MON.	MONUMENT
BW	BOTTOM OF WALL	MTL.	METAL
C.F.	CUBIC FEET	MTL.	NOT IN CONTRACT
C.I.	CURB INLET	N.S.	NORFOLK & SOUTHERN
C.M.U.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
C.V.	CHECK VALVE	N/V	NOW OR FORMERLY
C.Y.	CUBIC YARD	NBL	NORTHBOUND LANE
CAL	CALIPER	NV	NEW RIVER VALLEY
CATV	CABLE TELEVISION	OD	OUTSIDE DIAMETER
CHD	CHORD	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
CMP	CORRUGATED METAL PIPE	OH	OVERHEAD
CO	CLEAN-OUT	OH	OVERHEAD ELECTRIC
CONC.	CONCRETE	P.B.	PLAT BOOK
CRK.	CREEK	P.U.	PUBLIC UTILITY
D.B.	DEED BOOK	P.U. & D.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT	P.U.E.	PUBLIC UTILITY EASEMENT
D.I.	DROP INLET	PE	POLYETHYLENE
D.L.P.	DUCTILE IRON PIPE	PEL	PEDESTAL
D.S.	DOWN SPOUT	PGE	PAGE
DECD.	DECEOUS	PROP.	PROPOSED
DEG.	DEGREES	PSI	POUNDS PER SQUARE INCH
DET.	DETAIL	PVC	POLYVINYLCHLORIDE
DFC	DRAINFIELD CORNER	PWMT	PAVEMENT
DI	DROP INLET	R	RADIUS
DIA.	DIAMETER	R/R	RAILROAD
DIST.	DISTRICT	R.O.W.	RIGHT-OF-WAY
DR	DRIVE	RCF	REINFORCED CONCRETE PIPE
DWG.	DRAWING	REF.	REFERENCE
DWG.	DRAWING	REQ'D	REQUIRED
E.G.	EDGE OF GRAVEL	REV.	REVISION
E.P.	EDGE OF PAVEMENT	RTE.	ROUTE
EA	EACH	R/W	RAILWAY
EDL	EASTBOUND LANE	S.D.	STORM DRAIN
ELEV.	ELEVATION	SDL	SIGHT DISTANCE LEFT
EDW	EDGE OF WATER	SDR	SIGHT DISTANCE RIGHT
ESMT	EASEMENT	S.F.	SQUARE FEET
EVG.	EVERGREEN	SCH	SCHEDULE
EXT.	EXTENSION	SHT	SHEET
F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY	SPEC.	SPECIFICATION
F.I.R.M.	FLOOD INSURANCE RATE MAP	SPK	SEPTIC TANK
F.L.W.	FLOW LINE	SSW	SANITARY SEWER
FF	FINISH FLOOR	SSWH	SANITARY SEWER MANHOLE
FR	FRAME	ST	STREET
FT	FEET	STA.	STATION
G.M.	GAS METER	STD	STANDARD
G.V.	GATE VALVE	STY	STORMWATER MANAGEMENT EASEMENT
GN	GAY AND NEEL, INC.	SWMF	STORMWATER MANAGEMENT FACILITY
GPM	GALLONS PER MINUTE	TC	TOP OF CURB/CONCRETE
GRV.	GRAVEL	TCP	TERRA COTTA PIPE
GRD	GROUND	TEL	TELEPHONE
HP	HIGH POINT	TOS	TOP OF BANK
H.U.D.	HOUSING AND URBAN DEVELOPMENT	TOS	TOP OF SLOPE
H/C	HANDICAPPED	TW	TOP OF WALL
HCR	HANDICAPPED RAMP	TYP.	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE PIPE	U.G.	UNDERGROUND
HR	HANDRAIL	U.P.	UTILITY POLE
HW	HEADWALL	U.S.	UNITED STATES
HYD.	HYDRANT	VA	VIRGINIA
IN	INSIDE DIAMETER	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
INCH	INCH	VESCH	VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
INST.	INSTRUMENT	W.B.	WILL BOOK
INT.	INTERSECTION	W.W.F.	WELDED WIRE FABRIC

GENERAL GRADING NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES SHOWN ARE TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENT CONTROL NARRATIVE APPROVED FOR THIS PLAN. THE NARRATIVE INCLUDES ADDITIONAL MEASURES SUCH AS DUST CONTROL, TEMPORARY SEEDING, PERMANENT SEEDING AND MULCHING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE FROM ALL AREAS OF THE SITE.
- EXCAVATION IS UNCLASSIFIED.

GENERAL UTILITY NOTES:

- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AS NECESSARY TO MEET THE SPECIFIC REQUIREMENTS OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR ALL WATERLINE RELOCATIONS.
- IF WATERLINE IS RELOCATED BELOW A STORM DRAIN, THEN CONCRETE PIERS SHALL BE PROVIDED.
- CONTRACTOR SHALL COORDINATE ANY GAS LINE RELOCATIONS WITH THE UTILITY OWNER.

GAY AND NEEL, INC.
ENGINEERING • LANDSCAPE ARCHITECTURE • SURVEYING

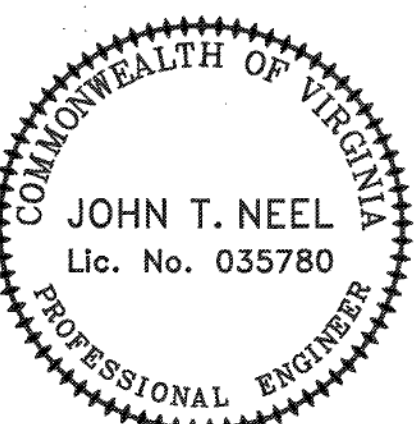


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PORTLAND AVENUE DRAINAGE IMPROVEMENTS

CHARLES CRUSH
AS-BUILT
SUBSTANTIAL COMPLETION
09-02-2015



REVISIONS		
NO.	COMMENTS	DATE
1	WATERLINE AND SANITARY SEWER ADDITION	10/20/2014
2	WWW COMMENTS	10/23/2014

PROJECT TEAM	
PC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	SEC, MBL

ISSUE DATE	
09/30/2014	
GNI JOB NO.	
2521.0	
SHEET TITLE	
COVER SHEET	
SHEET NUMBER	
C0-01	