

VICINITY MAP:
SCALE: 1"=1200'

DISTURBED AREA PER INLET	
INLET	DISTURBED AREA
K1	N/A – MANHOLE
K2	N/A – MANHOLE
K3	9,583.20 SF
K4	13,939.20 SF
K5	7,405.20 SF
L1	10,890.00 SF
L2	6,098.40 SF
L3	10,890.00 SF
M1	4,791.60 SF
N1	N/A – MANHOLE
N2	N/A – MANHOLE
N3	N/A – MANHOLE
N4	N/A – MANHOLE
N5	N/A – MANHOLE
N6	5,662.80 SF
N7	N/A – MANHOLE
N8	10,890.00 SF
N9	4,356.00 SF
O1	6,098.40 SF
O2	4,356.00 SF
P1	5,227.20 SF

SHEET INDEX	
SHEET #	SHEET TITLE
C0-01	COVER SHEET
C1-00	EXISTING CONDITIONS AND DEMOLITION PLAN KEY
C1-01	EXISTING CONDITIONS AND DEMOLITION PLAN AREA G
C1-02	EXISTING CONDITIONS AND DEMOLITION PLAN AREA H
C1-03	EXISTING CONDITIONS AND DEMOLITION PLAN AREA I
C1-04	EXISTING CONDITIONS AND DEMOLITION PLAN AREA J
C3-01	GRADING AND STORM PLAN AREA G
C3-02	GRADING AND STORM PLAN AREA H
C3-03	GRADING AND STORM PLAN AREA I
C3-04	GRADING AND STORM PLAN AREA J
C3-05	STORM PROFILES
C3-06	STORM DETAILS
C3-07	SITE DETAILS
C3-08	TYPICAL ROAD SECTIONS
C5-01	C5-01 EROSION AND SEDIMENT CONTROL PLAN AREA G
C5-02	C5-02 EROSION AND SEDIMENT CONTROL PLAN AREA H
C5-03	C5-03 EROSION AND SEDIMENT CONTROL PLAN AREA I
C5-04	C5-04 EROSION AND SEDIMENT CONTROL PLAN AREA J
C5-05	EROSION AND SEDIMENT CONTROL DETAILS
C5-06	EROSION AND SEDIMENT CONTROL NOTES

GENERAL UTILITY NOTES:

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AS NECESSARY TO MEET THE SPECIFIC REQUIREMENTS OF THE WORK.
2. CONTRACTOR IS RESPONSIBLE FOR ALL WATERLINE RELOCATIONS.
3. IF WATERLINE IS RELOCATED BELOW A STORM DRAIN, THEN CONCRETE PIERS SHALL BE PROVIDED.
4. CONTRACTOR SHALL COORDINATE ANY GAS LINE RELOCATIONS WITH THE UTILITY OWNER.

CITY OF ROANOKE CONSTRUCTION NOTES:

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT – PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
2. LAND DISTURBANCE PERMIT – AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. PLANS AND PERMITS – A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES – THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE – THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
6. STREETS TO REMAIN CLEAN – IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES – THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT – CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY
9. APPROVED PLANS/CONSTRUCTION CHANGES – ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY – THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND CONSTRUCTION DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, TIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.

GENERAL NOTES:

3. OWNER REPRESENTATIVE: PRISCILLA CYGELNIK
CITY OF ROANOKE — ENGINEERING DEPARTMENT
215 CHURCH AVENUE, S.W. — ROOM 350
ROANOKE, VA 24011
2. ALL WORK PROPOSED IN THESE PLANS IS TO BE DONE WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS OBTAINED.
3. NO GRAVES, STRUCTURES, OR OBJECTS MARKING A PLACE OF HUMAN BURIAL WERE FOUND AT TIME OF SURVEY.
4. THE SUBJECT LANDS DEPICTED HEREON DO NOT LIE WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SUBJECT LANDS LIE WITHIN "UNSHADED ZONE X — OTHER AREAS," AS DEFINED BY F.E.M.A. & AS SHOWN ON F.I.R.M. MAP NO. 51161C0153G, EFFECTIVE DATE OF SEPTEMBER 28, 2007. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
5. PLANNING AREAS
TOTAL DISTURBED AREA: ±23,983 SF (0.55 AC.)
6. A PRE-CONSTRUCTION MEETING WITH THE CITY WILL BE HELD PRIOR TO CONSTRUCTION.
7. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-408, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT).
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
10. UNLESS SHOWN OR SPECIFIED OTHERWISE, METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS. AND VDOT ROAD AND BRIDGE SPECIFICATIONS (LATEST EDITIONS). SHOULD A LOCALITY HAVE SPECIFICATIONS OF ITS OWN, THE MORE STRINGENT SHALL APPLY.
11. ALL ACTIVITIES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO VDOT WORK AREA PROTECTION MANUAL (MOST RECENT EDITION)
12. BY THE END OF CONSTRUCTION, PROVIDE LEGIBLE, SURVEYED MARK-UPS OF AS-BUILT SITE CONSTRUCTION ITEMS ON SITE PLANS TO THE OWNER FOR PREPARATION OF SITE RECORD DRAWINGS.
13. CONTRACTOR SHALL ENSURE THAT EGRESS FOR FIRE ACCESS FOR THE SITE IS MAINTAINED AT ALL TIMES.
14. MAINTAIN EMERGENCY SERVICE AND DELIVERY VEHICLE ACCESS TO THE SURROUNDING AREA AND COORDINATE THIS WITH THE OWNER.
15. THESE PLANS SHALL BE USED IN CONJUNCTION WITH THE TECHNICAL SPECIFICATIONS AND PROJECT MANUAL.
16. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE, WHO SHALL PROMPTLY CORRECT SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR WITHOUT DIRECTION AFTER HIS DISCOVERY OF SUCH INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
17. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN THAT MEETS ALL VDOT AND CITY OF ROANOKE STANDARDS AND REQUIREMENTS.

LEGEND:

	PROPERTY LINE		EXISTING GAS VALVE
	EXISTING 1' CONTOURS		EXISTING GAS METER
	PROPOSED 1' CONTOURS		EXISTING LIGHT POLE
	EXISTING SPOT ELEVATION		EXISTING WELL
	PROPOSED SPOT ELEVATION		DRILL HOLE
	PROPOSED TOP CURB ELEVATION		EXISTING FIRE HYDRANT
	PROPOSED BOTTOM CURB ELEVATION		PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER		PROPOSED FIRE HYDRANT LABEL
	PROPOSED SANITARY SEWER		EXISTING WATER VALVE
	EXISTING WATERLINE		PROPOSED WATER VALVE AND REDUCER
	PROPOSED WATERLINE		EXISTING WATER METER
	EXISTING STORM SEWER		PROPOSED WATER METER
	PROPOSED STORM SEWER		EXISTING SEWER CLEANOUT
	EXISTING EDGE OF PAVEMENT		PROPOSED SEWER CLEANOUT
	PROPOSED PAVEMENT		EXISTING SEWER MANHOLE
	EXISTING BUILDING		PROPOSED SAN. SEW. STRUCTURE LABEL
	PROPOSED BUILDING		PROPOSED STR. SEW STRUCTURE LABEL
	EXISTING OVERHEAD ELECTRIC		EXISTING SHRUB
	EXISTING BURIED ELECTRIC		EXISTING TREE
	EXISTING BURIED CABLE TV LINE		PROPOSED TREE
	EXISTING GAS LINE		EXISTING SIGN
	EXISTING BURIED TELEPHONE LINE		PROPOSED SIGN
	EXISTING FENCE LINE		BORE HOLE/TEST PIT
	EXISTING TREELINE		CONTROL POINT
	BENCHMARK LOCATION		IRON ROD FOUND
	TO BE REMOVED		IRON ROD SET
	EXISTING TELEPHONE PEDESTAL		PROPERTY CORNER

ABBREVIATION LEGEND:

A/C	AIR CONDITIONER	LB.	POUND
A/C	ACRES	M	METER
AL	APPROXIMATE LOCATION	M.B.L.	MINIMUM BUILDING LINE
AL	ALTERNATE	MB	MASTERSHIP
APPROX.	APPROXIMATE	MAX.	MAXIMUM
AVG.	AVERAGE	MB	MAIL BOX
B.M.	BENCHMARK	MH	MANNHOLE
BC	BOTTOM OF CURB	MI.	MILE
BLVD.	BOULEVARD	MIN.	MINIMUM
BSM	BASEMENT	MON.	MONUMENT
BW	BOTTOM OF WALL	MTL.	METAL
CB	CURB FEET	N.I.C.	NOT IN CONTRACT
C.I.	CURB INLET	N.S.	NORTH & SOUTHERN
C.M.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
C.V.	CHECK VALVE	NOW	NOT CORNERLY
C.Y.	CUBIC YARD	NBL	NORTHBOUND LANE
CL	CLIPPER	NW/#	NUMBER
CTV	CABLE TELEVISION	N.Y.	NEW YORK
CHD	CHORD	N.R.	NORTH RIVER VALLEY
CM	CORRUGATED METAL PIPE	O.D.	OUTSIDE DIAMETER
CO	CLEAN-OUT	OW	OWNER PROPERTY CONTRACTOR INSTALLED
CO	COUNTY	OH	OVERHEAD
CONC.	CONCRETE	OVER	OVERHEAD ELECTRIC
CRK.	CREEK	P.B.	PLAT BOOK
C.B.	DEED BOOK	P.U.	PUBLIC UTILITY
D.B.	DRAINAGE EASEMENT	P.U. & D.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
D.I.	DROP INLET	P.U.E.	PUBLIC UTILITY EASEMENT
D.L.	DITCH	P.V.	POLYETHYLENE
D.P.	DITCH RUN PIPE	PED.	PEDESTAL
D.S.	DOWN SPOUT	PAGE	PAGE
DECD.	DEGREES	PROP.	PROPOSED
DEG.	DEGREES	PSI	POUNDS PER SQUARE INCH
DET.	DETAIL	PVC	POLYVINYLCHLORIDE
DFC	DRAINFIELD CORNER	PMT	PAVEMENT
DI	DROP INLET	R	RADIUS
DI	DIAMETER	R.R.	RAILROAD
DIA.	DISTRICT	R/W	RIGHT-OF-WAY
DIV	DIVIDE	RD	ROAD
DWG	DRAWING	REF.	REFERENCE
DWG	DWELLING	REQD	REQUIRED
E.G.	EDGE OF GRAVEL	RET.	RETAINING
E.G.	EDGE OF PAVEMENT	REV.	REVISION
EACH	EACH	ROUTE	ROUTE
EBL	EASTBOUND LANE	R/W	RAILWAY
ELEV.	ELEVATION	R.D.	ROAD
EOW	EDGE OF WATER	R.D.	ROAD
EWMT.	EASEMENT	S.D.	SIGHT DISTANCE LEFT
EVG.	EVERGREEN	SDMH	STORM DRAIN MANHOLE
EXIST.	EXISTING	S.F.	SIGHT DISTANCE RIGHT
EXT.	EXTENSION	SCH	SQUARE FEET
F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY	SBL	SOUTHBOUND LANE
F.I.R.M.	FIRE HYDRANT	SCH	SCHEDULE
F.I.R.M.	FLOOD INSURANCE RATE MAP	SCH	SHEET
F/L	FINISH LINE	SPEC.	SPECIFICATION
F/F	FINISH FLOOR	SPK	SEPTIC TANK
FT.	FEET	SSW	SANITARY SEWER
FT.	FEET	SSMH	SEWER SEWER MANHOLE
G.M.	GAS METER	ST.	STREET
G.W.	GAY AND WELLS, INC.	STD.	STANDARD
GPM	GALLONS PER MINUTE	STY.	STORY
GRV.	GRAVEL	SWME	SEWER MANAGEMENT EASEMENT
GRV.	GROUND	SWMF	SEWER MANAGEMENT FACILITY
HP	HIGH POINT	TC	TOP OF CURB/CONCRETE
H.U.D.	HOUSING AND URBAN DEVELOPMENT	TOP	TOP
H/C	HANDICAPPED	TEL	TELEPHONE
HCR	HANDICAPPED RAMP	T/B	TOP OF BANK
H/P	HIGH DENSITY POLYETHYLENE PIPE	TOS	TOP OF SLOPE
HR	HANDRAIL	TOW	TOP OF WALL
HYD.	HYDRO	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	U.G.	UNDERGROUND
IN.	INCH	U.L.Y.	UTILITY POLY
INST.	INSTRUMENT	U.S.	UNITED STATES
INT.	INTERSECTION	USG	UNDERGROUND
		VEOSH	VEGETATION AND SEDIMENT CONTROL HANDBOOK
		W.B.	WELL BOOK
		W.F.F.	WELDED WIRE FABRIC

GENERAL GRADING NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES SHOWN ARE TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENT CONTROL NARRATIVE APPROVED FOR THIS PLAN. THE NARRATIVE INCLUDES ADDITIONAL MEASURES SUCH AS DUST CONTROL, TEMPORARY SEEDING, PERMANENT SEEDING AND MULCHING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE FROM ALL AREAS OF THE SITE.
3. EXCAVATION IS UNCLASSIFIED.

GAY AND NEEL, INC.

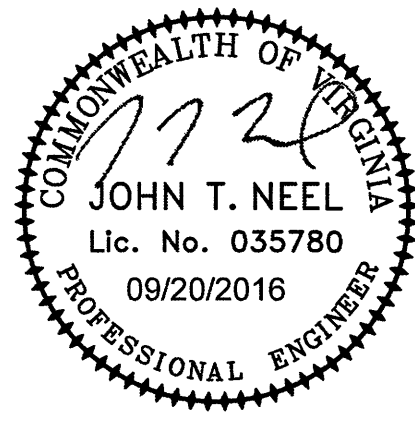
ENGINEERING ♦ LANDSCAPE ARCHITECTURE ♦ SURVEYING

1260 Radford Street
Christiansburg, Virginia 24073

Phone: (540) 381-6011
Fax: (540) 381-2773

Email: info@gayandneel.com
Web: www.gayandneel.com

PORTLAND AVENUE, BEN STREET AND HILLENDALE DRIVE IMPROVEMENTS

[illegible]

PROJECT TEAM

PIC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	SEC, MBL

ISSUE DATE

09/20/2016

GNI JOB NO

2521.3

SHEET TITLE

COVER SHEET

SHEET NUMBER

C0-01

Portland / Ben St. Storm

CHARLES CRUSH
A3-BUILTS
05-12-17