

**KNOW ALL MEN BY THESE PRESENTS TO WIT:**

THAT GEORGE P. BARON, JR. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE SUBDIVIDED, BOUNDED BY OUTSIDE CORNERS 1 THROUGH 14 TO 1, INCLUSIVE, WHICH COMPRISES ALL OF THE LAND CONVEYED TO SAID OWNER BY DEED DATED 20 AUGUST 2004 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA IN INSTRUMENT NUMBER 200416356.

THE SAID OWNER CERTIFIES THAT HE HAS SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH HIS OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH SECTION 15.2-2240 THRU 2276 OF THE CODE OF VIRGINIA OF 1950, AS AMENDED TO DATE, AND WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE AS AMENDED TO DATE. THE SAID OWNER DOES BY VIRTUE OF RECORDATION OF THIS PLAT CREATE THE NEW PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE WESTERN VIRGINIA WATER AUTHORITY AS SHOWN HEREON.

IN WITNESS WHEREOF ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEAL ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2004.

**OWNER:**

BY: \_\_\_\_\_  
GEORGE P. BARON, JR.

**STATE OF VIRGINIA**

\_\_\_\_\_ OF \_\_\_\_\_

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE AFORESAID \_\_\_\_\_ AND STATE DO HEREBY CERTIFY THAT GEORGE P. BARON, JR., OWNER, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING DATED \_\_\_\_\_, 2004, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID \_\_\_\_\_ AND STATE AND ACKNOWLEDGED THE SAME ON \_\_\_\_\_, 2004.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

LOT 9, FAIRWAY FOREST VILLAS  
P.B. 22 PG. 71  
T.M. #66.04-01-09  
PROPERTY OF  
ALFRED B. STILLE, JR. &  
MARGUARITE G. STILLE  
INST. #017250461

T.M. #67.17-03-14  
PROPERTY OF  
RICHARD C. TABB &  
JANE S. TABB  
LOT 3A, BLOCK 3  
SECTION #1, MEADOW CREEK  
P.B. 15 PG. 141

T.M. #66.04-01-11  
9.770 ACRES  
PROPERTY OF  
GEORGE P. BARON, JR.  
INST. #200400831

ORIGINAL T.M. #67.17-03-15  
ORIGINAL LOT 4A-1

73,930 S.F. = 1.697 ACRE  
TO BE COMBINED WITH AND  
MADE A PART OF  
TAX PARCEL #66.04-01-11  
(11.467 ACRES TOTAL)

T.M. #67.17-3-16  
LOT 5, BLOCK 3, SECTION 1  
MEADOW CREEK  
P.B. 9 PG. 305  
PROPERTY OF  
WILLIAM C. CLEVELAND &  
LESLIE CLEVELAND  
D.B. 1582 PG. 369

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 50 ft.

**LEGEND**

S.F. SQUARE FEET  
D.B. DEED BOOK  
P.B. PLAT BOOK  
PG. PAGE  
EX. EXISTING  
RTE. ROUTE

**NOTES:**

1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C0044 D, DATED OCTOBER 15, 1993. ZONE X
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
3. APPROVAL HEREOF BY THE ROANOKE COUNTY SUBDIVISION AGENT IS FOR PURPOSES OF ENSURING COMPLIANCE WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE. PRIVATE MATTERS, SUCH AS COMPLIANCE WITH RESTRICTIVE COVENANTS OR OTHER TITLE REQUIREMENTS, APPLICABLE TO THE PROPERTIES SHOWN HEREON, ARE NOT REVIEWED OR APPROVED WITH REGARD TO THIS SUBDIVISION OR RESUBDIVISION.
4. LEGAL REFERENCE: GEORGE P. BARON, JR. INSTRUMENT NUMBER 200416356.
5. LINE BETWEEN 1A AND 4A IS A NEW DIVISION LINE.
6. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.

**APPROVED**

AGENT, ROANOKE COUNTY PLANNING COMMISSION

DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA, THIS PLAT WITH THE CERTIFICATE OF ACKNOWLEDGMENT, THERETO ANNEXED, IS ADMITTED TO RECORD ON \_\_\_\_\_, 2004, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_M.

TESTEE: STEVEN A. MCGRAW, CLERK

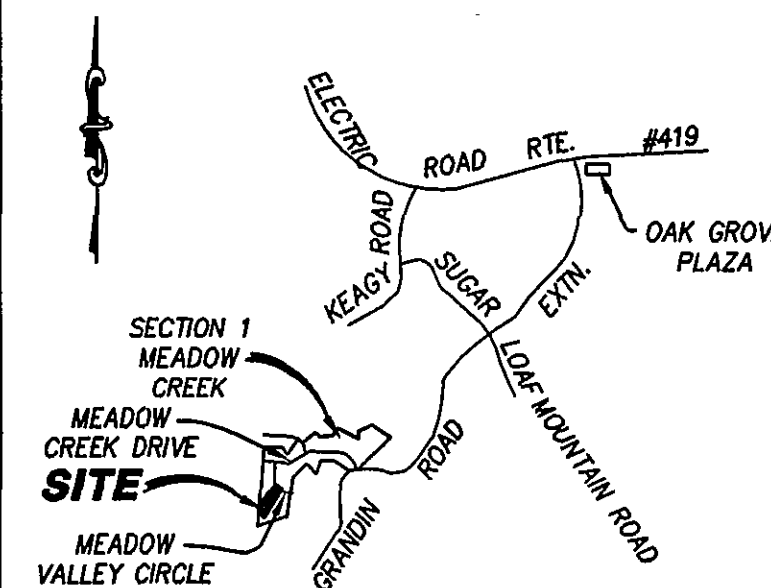
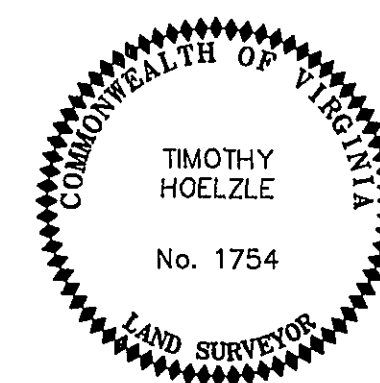
DEPUTY CLERK

**BOUNDARY COORDINATES**  
ORIGIN OF COORDINATES ASSUMED

CORNER	NORTHING	EASTING
1	2051.78271	2032.43870
2	1795.53972	1417.39240
3	2057.10701	1356.96476
4	2116.00382	1456.43600
5	2128.70428	1692.67485
6	2135.50585	1698.55963
7	2154.42725	1756.23941
8	2132.51879	1763.62767
9	2139.46298	1892.79515
10	2122.32888	1898.96174
11	2128.78549	1991.45666
12	2144.73904	1990.93408
13	2146.12751	2016.76090
14	2112.74551	2020.82040
15	2051.78271	2032.43870

AREA 134,257 S.F. = 3.082 ACRES

PLAT OF RESUBDIVISION OF  
LOT 4A-1  
SUBDIVISION PLAT FOR  
JAMES & LISA BUTLER & JANE PARKER  
(D.B. 1590 PG. 38)  
CREATING HEREON NEW  
**LOT 4A-1-A (1.385 AC.)**  
AND REMAINING  
**(1.697 AC.)**  
PORTION OF ORIGINAL LOT 4A-1  
TO BE COMBINED WITH AND  
MADE A PART OF TAX #66.04-01-11  
**(11.467 TOTAL AC.)**  
PROPERTY OF  
**GEORGE P. BARON, JR.**  
WINDSOR HILLS MAGISTERIAL DISTRICT  
ROANOKE COUNTY, VIRGINIA

**LOCATION MAP**

NOT TO SCALE

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4664 BRAMBLETON AVENUE, SW  
P.O. BOX 20669  
ROANOKE, VIRGINIA 24018

**LUMSDEN ASSOCIATES, P.C.**  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA



DATE: December 3, 2004  
COMM. NO.: 2004-026  
SCALE: 1" = 50'  
SHEET 1 OF 1