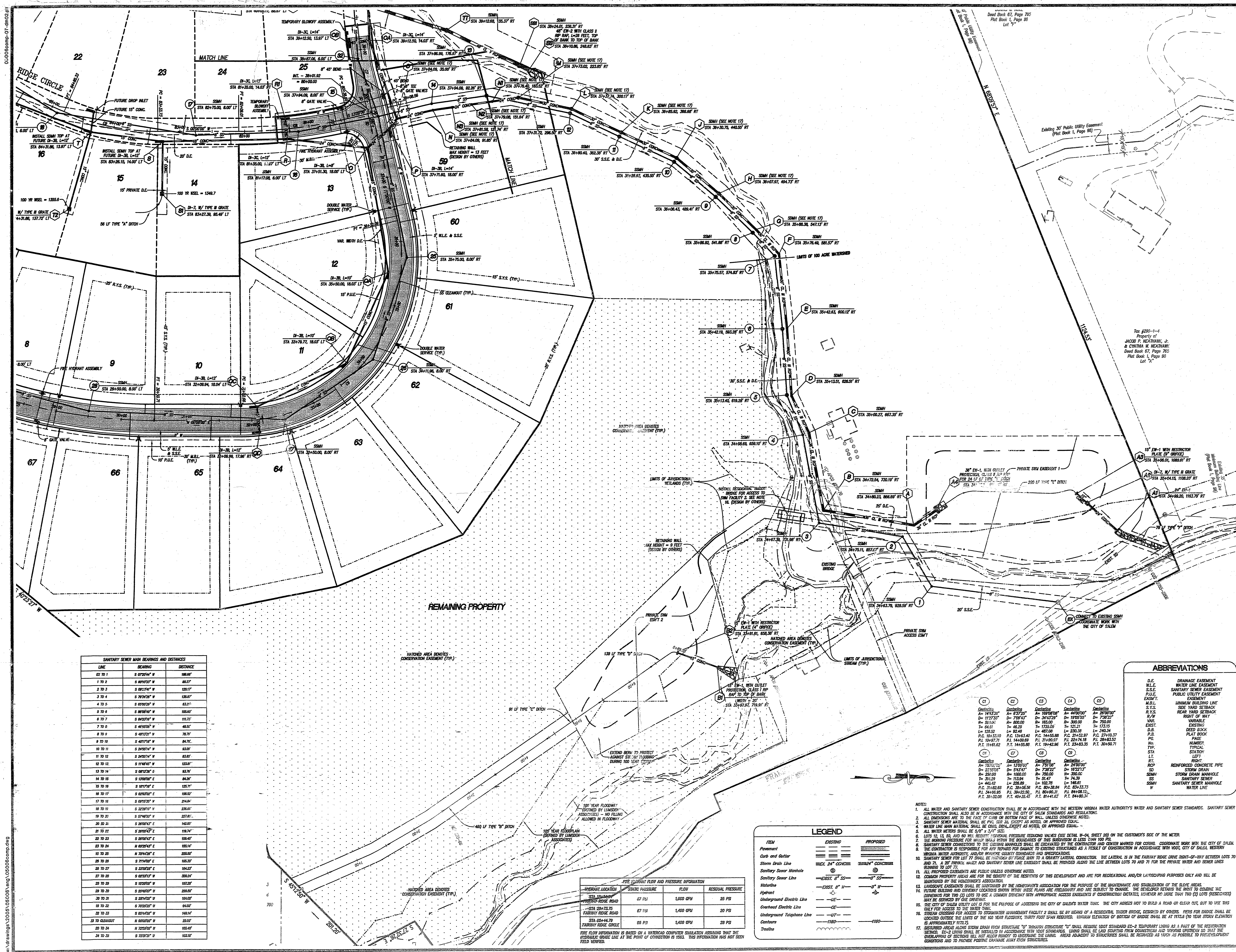




LINE	BEARING	DISTANCE
1. TO 2	S 87°20'44" W	188.86'
2. TO 3	S 89°02'33" W	48.57'
3. TO 4	S 89°12'14" W	128.17'
4. TO 5	S 79°24'28" W	138.87'
5. TO 6	S 63°02'30" W	63.01'
6. TO 7	S 88°04'44" W	105.60'
7. TO 8	S 84°52'30" W	48.55'
8. TO 9	S 49°12'31" W	76.79'
9. TO 10	S 49°17'18" W	84.76'
10. TO 11	S 24°30'14" W	63.00'
11. TO 12	S 24°30'14" W	63.00'
12. TO 13	S 11°46'45" W	138.81'
13. TO 14	S 89°12'31" E	63.76'
14. TO 15	S 13°02'00" E	84.28'
15. TO 16	S 10°17'18" E	125.71'
16. TO 17	S 62°02'30" E	188.52'
17. TO 18	S 09°12'31" E	214.41'
18. TO 19	S 32°20'14" W	238.81'
19. TO 20	S 57°02'33" W	237.81'
20. TO 21	S 28°04'44" E	148.00'
21. TO 22	S 28°04'44" E	118.74'
22. TO 23	S 28°04'44" E	158.45'
23. TO 24	N 60°24'14" E	155.14'
24. TO 25	N 70°04'44" E	228.50'
25. TO 26	S 71°04'44" E	165.33'
26. TO 27	S 45°02'30" E	164.53'
27. TO 28	S 45°02'30" E	282.54'
28. TO 29	S 15°02'30" W	162.28'
29. TO 30	S 55°02'30" W	228.50'
30. TO 31	S 28°04'44" E	164.53'
31. TO 32	S 72°02'30" W	165.14'
32. TO 33	S 65°02'30" W	165.14'
33. TO 34	N 60°24'14" E	228.50'
34. TO 35	S 72°02'30" W	165.14'

HYDRANT LOCATION	STATIC PRESSURE	FLOW	RESIDUAL PRESSURE
STATION 10+00.00	87 PSI	1,500 GPM	25 PSI
STATION 10+50.00	87 PSI	1,400 GPM	20 PSI
STATION 11+00.00	85 PSI	1,400 GPM	23 PSI

ITEM	EXISTING	PROPOSED
Pavement	---	---
Curb and Gutter	---	---
Storm Drain Line	---	---
Sanitary Sewer Manhole	---	---
Sanitary Sewer Line	---	---
Waterline	---	---
Hydrant	---	---
Underground Electric Line	---	---
Overhead Electric Line	---	---
Underground Telephone Line	---	---
Contours	---	---
Topography	---	---

ABBREVIATIONS	
D.E.	DRAINAGE EASEMENT
W.E.	WATER LINE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
EASMT.	EASEMENT
M.B.L.	MINIMUM BUILDING LINE
S.Y.S.	SIDE YARD SETBACK
R/W	RIGHT OF WAY
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.L.	PLAT BOOK
P.C.	PAGE
No.	NUMBER
TYP.	TYPICAL
STA.	STATION
LT.	LEFT
RT.	RIGHT
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSM	SANITARY SEWER MANHOLE
W	WATER LINE

- NOTES:
- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WESTERN VIRGINIA WATER AND SANITARY SEWER STANDARDS. SANITARY SEWER CONSTRUCTION SHALL ALSO BE IN ACCORDANCE WITH THE CITY OF SALEM STANDARDS AND REGULATIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB OR BOTTOM FACE OF WALL, UNLESS OTHERWISE NOTED.
 - SANITARY SEWER MATERIAL SHALL BE PVC, 20" DIA., EXCEPT AS NOTED, OR APPROVED EQUAL.
 - WATER LINE MATERIAL SHALL BE COLD CHL, EXCEPT AS NOTED, OR APPROVED EQUAL.
 - ALL WATER METERS SHALL BE 1/2" x 1/2" SIZE.
 - LOTS 12, 13, 20, AND 20 WILL REQUIRE INDIVIDUAL PRESSURE REDUCING VALVES (SEE DETAIL W-04, SHEET 20) ON THE CUSTOMER'S SIDE OF THE METER.
 - USE WORKING PRESSURE FOR WELDED JOINTS WITHIN THE BOUNDARIES OF THIS SUBDIVISION IS LESS THAN 100 PSI.
 - SANITARY SEWER CONNECTIONS TO THE EXISTING MAINS SHALL BE SPECIFIED BY THE CONTRACTOR AND CENTER MARKED FOR CORING. COORDINATE WORK WITH THE CITY OF SALEM.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS FOR DAMAGE TO EXISTING STRUCTURES AS A RESULT OF CONSTRUCTION IN ACCORDANCE WITH 1000, CITY OF SALEM, WESTERN VIRGINIA WATER AND SANITARY SEWER STANDARDS AND REGULATIONS.
 - SANITARY SEWER FOR LOT 77 SHALL BE PROVIDED BY FORCE MAIN TO A GRAVITY LATERAL CONNECTION. THE LATERAL IS IN THE FAIRWAY DRIVE DRIVE RIGHT-OF-WAY BETWEEN LOTS 70 AND 71. A 24" PRIVATE WATER AND SANITARY SEWER LINE EASEMENT SHALL BE PROVIDED ALONG THE LINE BETWEEN LOTS 70 AND 71 FOR THE PRIVATE WATER AND SEWER LINES RUNNING TO LOT 77.
 - ALL PROPOSED EASEMENTS ARE PUBLIC UNLESS OTHERWISE NOTED.
 - COMMON PROPERTY AREAS ARE FOR THE BENEFIT OF THE RESIDENTS OF THIS DEVELOPMENT AND ARE FOR RECREATIONAL AND/OR LANDSCAPING PURPOSES ONLY AND WILL BE MAINTAINED BY THE HOA/CONDOMINIUM ASSOCIATION.
 - LANDSCAPE EASEMENTS SHALL BE MAINTAINED BY THE HOA/CONDOMINIUM ASSOCIATION FOR THE PURPOSE OF THE MAINTENANCE AND STABILIZATION OF THE SLOPE AREAS.
 - FUTURE BUILDING AND DRIVEWAY LOCATIONS WITHIN THESE PLANS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE. THE DEVELOPER STANDS THE RIGHT TO CHANGE THE PLANS TO COORDINATE THE DRIVEWAYS FOR TWO (2) LOTS TO USE A COMMON DRIVEWAY WITH APPROPRIATE ACCESS EASEMENTS IF CONSTRUCTION DICTATES, HOWEVER NO MORE THAN TWO (2) LOTS (RESIDENCES) MAY BE SERVED BY ONE DRIVEWAY.
 - THE CITY OF SALEM UTILITY LOT IS FOR THE PURPOSE OF ACCESSING THE CITY OF SALEM'S WATER TANK. THE CITY AGREES NOT TO BUILD A ROAD OR CLEAR CUT, BUT TO USE THIS LOT FOR ACCESS TO THE WATER TANK.
 - STREAM CROSSING FOR ACCESS TO STORMWATER MANAGEMENT FACILITY 2 SHALL BE BY MEANS OF A RESIDENTIAL TUGGER BRIDGE, DESIGNED BY OTHERS. PERS FOR BRIDGE SHALL BE SUBMITTED OUTSIDE THE 100 YEAR FLOODWAY. THIRTY FOOT SPAN REQUIRED. MINIMUM ELEVATION OF BOTTOM OF BRIDGE SHALL BE AT 1173.5 (10 YEAR STORM ELEVATION IS APPROXIMATELY 1172.7).
 - EXISTING AREAS ALONG STORM DRAIN FROM STRUCTURE "Y" THROUGH STRUCTURE "Z" SHALL REQUIRE 100' STANDARD E.D.-2 TEMPORARY LINDS AS A PART OF THE RESTORATION METHOD. E.D.-2 LINDS SHALL BE INSTALLED IN ACCORDANCE WITH 100' STANDARDS. LINDS SHALL BE LAID STARTING FROM DOWNSTREAM AND TOWARD UPSTREAM SO THAT THE OVERLAPPING OF SECTIONS WILL NOT ALLOW RUNOFF TO UNDERMINE THE LINDS. AREAS ADJACENT TO STRUCTURES SHALL BE REGRADDED AS MUCH AS POSSIBLE TO PREVENT FLOODING AND TO PROMOTE POSITIVE DRAINAGE AWAY FROM STRUCTURES.

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PROFESSIONAL SEAL

THOMAS C. DALE
No. 033002
8-1-7

SECTION NO. 1

"THE RIDGE AT FAIRWAY FOREST"

PREPARED FOR

BOONE HOMES, INC. OF ROANOKE

WINDSOR HILLS MATERIAL DISTRICT

ROANOKE COUNTY, VIRGINIA

DIMENSIONAL LAYOUT

DATE: March 6, 2007

SCALE: 1" = 50'

COMMISSION NO: 2005-006

SHEET 7 OF 20