

SITE DEVELOPMENT PLANS

for



RITE AID CORPORATION

STORE # 9095-01

INTERSECTION OF BRANDON AVENUE S.W. AND EDGEWOOD STREET S.W.

#2917 BRANDON AVENUE S. W.

ROANOKE, VIRGINIA

Mike Dunn
U.S. Const.-B.C.
563-9098 office
344-1105 -jobsite trk.

LEGEND

(UG) INDICATES UNDERGROUND UTILITY
(OH) INDICATES OVERHEAD UTILITY

EXISTING	DESCRIPTION	PROPOSED
SAN	SANITARY SEWER	SAN
W	WATER	W
S	STORM SEWER	S
E	ELECTRIC LINE	E
G	GAS LINE	G
T	TELEPHONE	T
TV	CABLE TV LINE	TV
CO	CLEANOUT	CO
FM	FORCE MAIN	FM
OMH	MANHOLE	OMH
CB	CATCH BASIN/CURB BASIN	CB
DI	DROP INLET	DI
PI	PLASTIC YARD DROP INLET	PI
FES	HEADWALL (W/ WINGS)	FES
W	WATER METER	W
YH	METER VAULT	YH
FH	YARD HYDRANT (SIAMISE CONNECTION)	FH
VALVE	FIRE HYDRANT	VALVE
TELEPHONE PEDESTAL	VALVE	TELEPHONE PEDESTAL
POLE W/ LIGHT	TELEPHONE POLE	POLE W/ LIGHT
POWER POLE	POLE W/ LIGHT	POWER POLE
GUY WIRE	GUY WIRE	GUY WIRE
POLE MOUNTED SIGN	POLE MOUNTED SIGN	POLE MOUNTED SIGN
GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION
GROUND CONTOUR	GROUND CONTOUR	GROUND CONTOUR
CONCRETE CURB	CONCRETE CURB	CONCRETE CURB
CURB & GUTTER	CURB & GUTTER	CURB & GUTTER
REV. CONC. CURB & GUTTER	REV. CONC. CURB & GUTTER	REV. CONC. CURB & GUTTER
WAPPED CURB & GUTTER	WAPPED CURB & GUTTER	WAPPED CURB & GUTTER
GRAVEL PAVEMENT	GRAVEL PAVEMENT	GRAVEL PAVEMENT
CEMENT CONCRETE	CEMENT CONCRETE	CEMENT CONCRETE
BITUMINOUS CONCRETE	BITUMINOUS CONCRETE	BITUMINOUS CONCRETE
BUILDING	BUILDING	BUILDING
PROJECT LIMITS	PROJECT LIMITS	PROJECT LIMITS
RIGHT-OF-WAY	RIGHT-OF-WAY	RIGHT-OF-WAY
CENTERLINE/BASELINE	CENTERLINE/BASELINE	CENTERLINE/BASELINE
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
DITCH, SWALE LINE	DITCH, SWALE LINE	DITCH, SWALE LINE
TREE LINE	TREE LINE	TREE LINE
FENCE	FENCE	FENCE
GUARDRAIL	GUARDRAIL	GUARDRAIL
BORING LOCATION W/ No.	BORING LOCATION W/ No.	BORING LOCATION W/ No.
BENCHMARK	BENCHMARK	BENCHMARK
INLET PROTECTION	INLET PROTECTION	INLET PROTECTION
TREE PROTECTION	TREE PROTECTION	TREE PROTECTION

SECONDED AMENDED PROFFERS FOR PETITION TO REZONE PORTION OF TAX PARCEL 1610211

(ALL EXHIBITS REFERRED TO HEREIN REFER TO EXHIBITS CONTAINED
IN THE APPROVED REZONING PETITION)

1. THE DEVELOPMENT OF THE SUBJECT PROPERTY WILL BE IN SUBSTANTIAL
CONFORMITY WITH THE "REZONING PLAN" DATED JUNE 24, 1996, PREPARED BY
LANGLEY AND McDONALD, P.C. WHICH IS THE SAME PLAN BEING SUBMITTED
WITH THIS PETITION (THE "PLAN"), SUBJECT TO CHANGES REQUIRED BY THE
CITY OF ROANOKE DURING DEVELOPMENT PLAN REVIEW.

2. THE EXTERIOR OF THE BUILDINGS SHOWN ON THE PLAN SHALL BE
SUBSTANTIALLY SIMILAR IN APPEARANCE TO THE TWO ARCHITECTURAL
ELEVATION RENDERINGS, EACH DATED AUGUST 1996, WHICH ARE THE
SAME ELEVATION RENDERINGS SUBMITTED WITH THIS PETITION AS EXHIBITS
C-1 (A) AND (B) (THE "ELEVATIONS"). THE BUILDING MATERIALS TO BE USED IN
THE CONSTRUCTION OF THE BUILDINGS ON THE PROPERTY SHALL
SUBSTANTIALLY CONFORM IN APPEARANCE WITH THE ARCHITECTURAL AND
BUILDING MATERIALS USED IN THE ELEVATIONS INCLUDING THE USE OF
BRICK MASONRY FOR THE EXTERIOR WALLS OF THE BUILDINGS.

3. THE PROPOSED BUILDING WILL NOT EXCEED A NET RETAIL FLOOR AREA OF
10,456 SQUARE FEET AND A GROSS BUILDING AREA OF 11,288 SQUARE FEET.
THE HEIGHT OF THE BUILDING WILL NOT EXCEED 25 FEET, WITH THE
EXCEPTION OF THE TOWERS ON THE ROOF OF THE BUILDING WHICH WILL NOT
EXCEED 35 FEET IN HEIGHT.

4. APPLICANT WILL PROVIDE AND MAINTAIN IN THE DEVELOPMENT OF THE
SUBJECT PROPERTY SUCH BUFFERING AND LANDSCAPING SUBSTANTIALLY AS
SHOWN ON THE PLAN, SUBJECT TO CHANGES REQUIRED BY THE CITY OF
ROANOKE DURING DEVELOPMENT PLAN REVIEW.

5. THE APPLICANT WILL INSTALL AND MAINTAIN A PEDESTRIAN WALKWAY,
BENCH SEATING AND BICYCLE RACK IN SUBSTANTIAL CONFORMANCE WITH
THE PLAN, SUBJECT TO CHANGES THAT MAY BE REQUIRED BY THE CITY OF
ROANOKE DURING DEVELOPMENT PLAN REVIEW.

6. THE PHARMACY PICKUP WINDOW WILL CONTAIN A COMMUNICATION SPEAKER
FOR CUSTOMER SERVICE, AND THERE WILL BE NO OTHER SPEAKER INSTALLED
OR USED ON THE PROPERTY. IN ADDITION, THERE WILL BE NO MENU BOARD
USED OR PERMITTED IN CONNECTION WITH SUCH COMMUNICATION SPEAKER.

7. LIGHTING INSTALLED ON THE PROPERTY SHALL BE EITHER DIRECTED
INWARDLY TOWARD THE SUBJECT PROPERTY, OR IF MOUNTED ON THE
EXTERIOR OF THE BUILDINGS, SHIELDED SO AS TO PREVENT ANY DIRECT
REFLECTION TOWARD THE ADJACENT RESIDENTIAL AREAS. SUCH LIGHTING
WILL NOT EXCEED 15 FEET IN HEIGHT.

8. SIGN STRUCTURES LOCATED ON THE PROPERTY SHALL BE IN SUBSTANTIAL
CONFORMANCE WITH THE DESIGN SHOWN ON THE ELEVATION RENDERING OF
THE SIGN STRUCTURE SUBMITTED WITH THIS PETITION AS EXHIBIT C-2,
SUBJECT TO CHANGES REQUIRED BY THE CITY OF ROANOKE DURING
DEVELOPMENT PLAN REVIEW (THE "SIGN ELEVATION"). SUCH SIGNS WILL BE
OF A GROUND MONUMENT TYPE, AND WILL BE GROUND LIT.

9. THE RETAINING WALL SHOWN ON THE PLAN WILL BE CONSTRUCTED OF
EITHER BRICK OR STONE.

10. THE FOLLOWING USES SHALL BE THE ONLY USES PERMITTED:

(A) DAY CARE CENTERS WITH UNLIMITED CAPACITY SUBJECT TO THE
REQUIREMENTS OF SECTION 36.1-510 ET SEQ.

(B) GENERAL AND PROFESSIONAL OFFICES INCLUDING FINANCIAL
INSTITUTIONS.

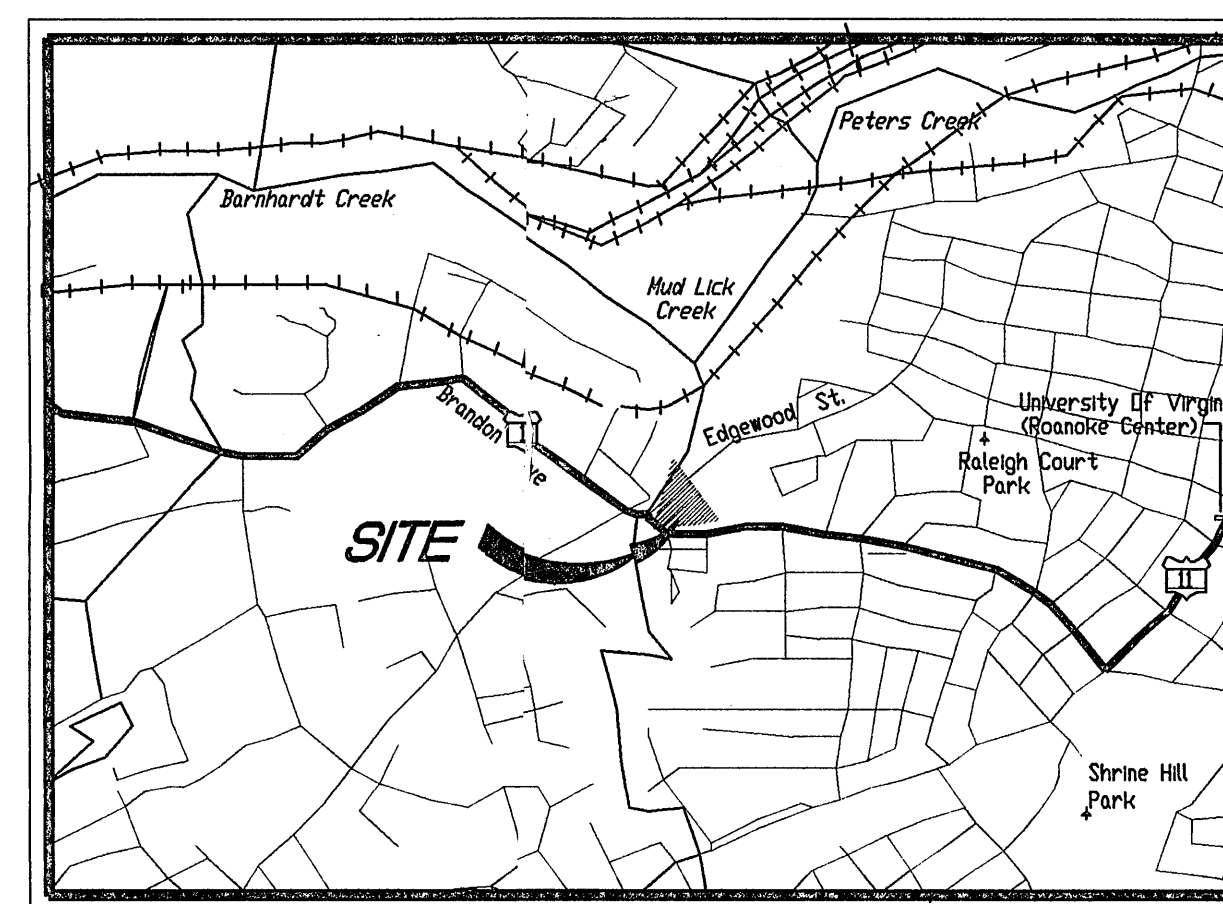
(C) MEDICAL CLINICS.

(D) MEDICAL OFFICES.

(E) GENERAL RETAIL ESTABLISHMENTS PRIMARILY ENGAGED IN THE
RETAIL SALE OR RENTAL OF MERCHANDISE, GOODS, OR PRODUCTS
EXCEPT AUTOMOBILES, TRUCKS, OR CONSTRUCTION EQUIPMENT; AND
INCLUDING THE INCIDENTAL REPAIR AND ASSEMBLY OF MERCHANDISE,
GOODS OR PRODUCTS TO BE SOLD ON THE PREMISES.

(F) FOOD STORES WITH A GROSS FLOOR AREA NOT GREATER THAN FIFTEEN
THOUSAND (15,000) SQUARE FEET.

11. A BUILDING PERMIT SHALL BE ISSUED AND CONSTRUCTION COMMENCED
WITHIN THREE (3) YEARS FROM THE DATE OF THE FINAL ZONING APPROVAL.



VICINITY MAP
SCALE: 1"=2000'

INDEX OF SHEET:

- SHEET NO. 1 Cover Sheet
- SHEET NO. 2 Topographic Survey & Demolition Plan
- SHEET NO. 3 Geometric & Utility Plan
- SHEET NO. 4 Grading Drainage & Erosion Control Plan
- SHEET NO. 5 Site Details
- SHEET NO. 6 Site Details
- SHEET NO. 7 Utility Specifications
- SHEET NO. 8 Planting Plan
- SHEET NO. 9 Planting Details, Notes & Schedule

48 HOURS
BEFORE YOU DIG
CALL TOLL FREE
1-800-552-7001
Miss Utility of Virginia

DEVELOPER:
C & C DEVELOPMENT
Attn: JIM CARR
2604 Barrett Street
Virginia Beach, Virginia
Tel. No. (804)340-4104 ; Fax: (804) 631-8375

SITE SUMMARIES :

Proposed Use : Pharmacy
Site Zoning : SITE RE-ZONED TO **C-2 CONDITIONAL** FROM ZONES RM-2 AND
C-2 BY THE COUNCIL OF THE CITY OF ROANOKE, VA. ON 10/7/96
ORDINANCE NO. 33129-100906.
Tax Parcel No. : 1610211
Street Address : #2917 BRANDON AVENUE.
Total Site Area : 2.15 Ac. or 93,562 S.F.
Impervious Area : 1.32 Ac.
Pervious Area : 0.83 Ac.

Building Height: BUILDING HEIGHT NOT TO EXCEED 25'(35' ALLOWED
AT ENTRANCE TOWER)

Building Area Breakdown :
Net Retail Floor Area = 8,766 S.F.
Net Support & Office Space = 1,342 S.F.
Storage Floor Area = 617 S.F.
Net Interior Building Area = 10,725 S.F.
Total Gross Building Footprint = 11,245 S.F.

Provided Parking Summary :
9'x18' Regular Spaces = 56
ADA Handicapped Spaces = 3
Total Provided Parking Spaces = 59
Loading Spaces = 1

Required Parking Spaces :
City of Roanoke :
11,245 S.F. @ 1 Space/200 S.F. = 56 Spaces
ADA Handicapped :
3 Spaces @ Lots of 51-75 Spaces = 3 Spaces (1 Van Accessible Req'd.)
Rite Aide :
10,725 S.F. @ 1 Space/200 S.F. = 54 Spaces

Water Consumption : Irrigation Use = 55 G.P.M.
Water Consumption : Retail Use = 15 G.P.M.
Sewage Flow :
Retail Q avg. 11,208 S.F. @ 250 gal/day/1000 S.F. = 2602 gpd
$$= 2602 \left(\frac{\text{gal}}{\text{day}} \right) \left(\frac{1 \text{ Day}}{12 \text{ hr.}} \right) \left(\frac{1 \text{ hr.}}{60 \text{ min.}} \right) = 3.89 \text{ gpm}$$

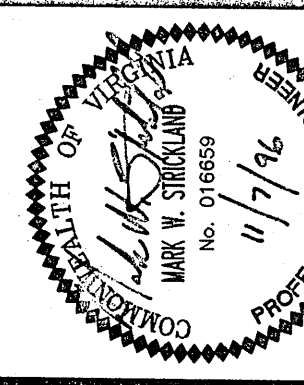
Q Peak : (Q avg.)x2.5 = 3.89x2.5 = 9.73 gpm
DFU Count = 30

2917 Brandon Ave S.W.

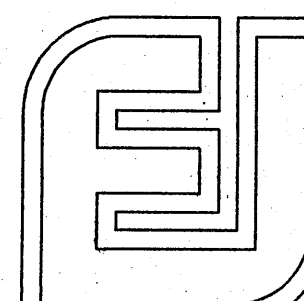
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NOV 11 1996
CITY OF ROANOKE
DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

C96-061
#74,200 BAND



Langley and McDonald, P.C.
Engineers • Surveyors • Planners
Landscape Architects • Environmental Consultants



DES. DMA
DWN. CCC/DMA
CHK. MWS
DATE

COVER SHEET
2.15 Acres Northeast of the Intersection of
Brandon Avenue S.W. and Edgewood Street S.W.
in the City of Roanoke, Virginia
FOR
RITE AID CORPORATION
30 Hunter Lane

PROJ. NO. 94100-
SCALE: NTS
SHEET 1 of 9
DWG. NO. 24741