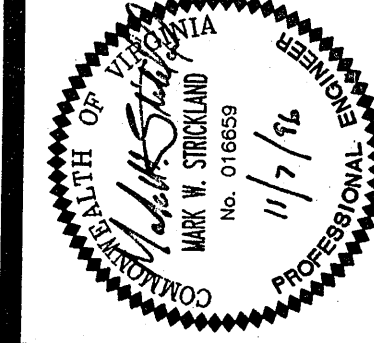
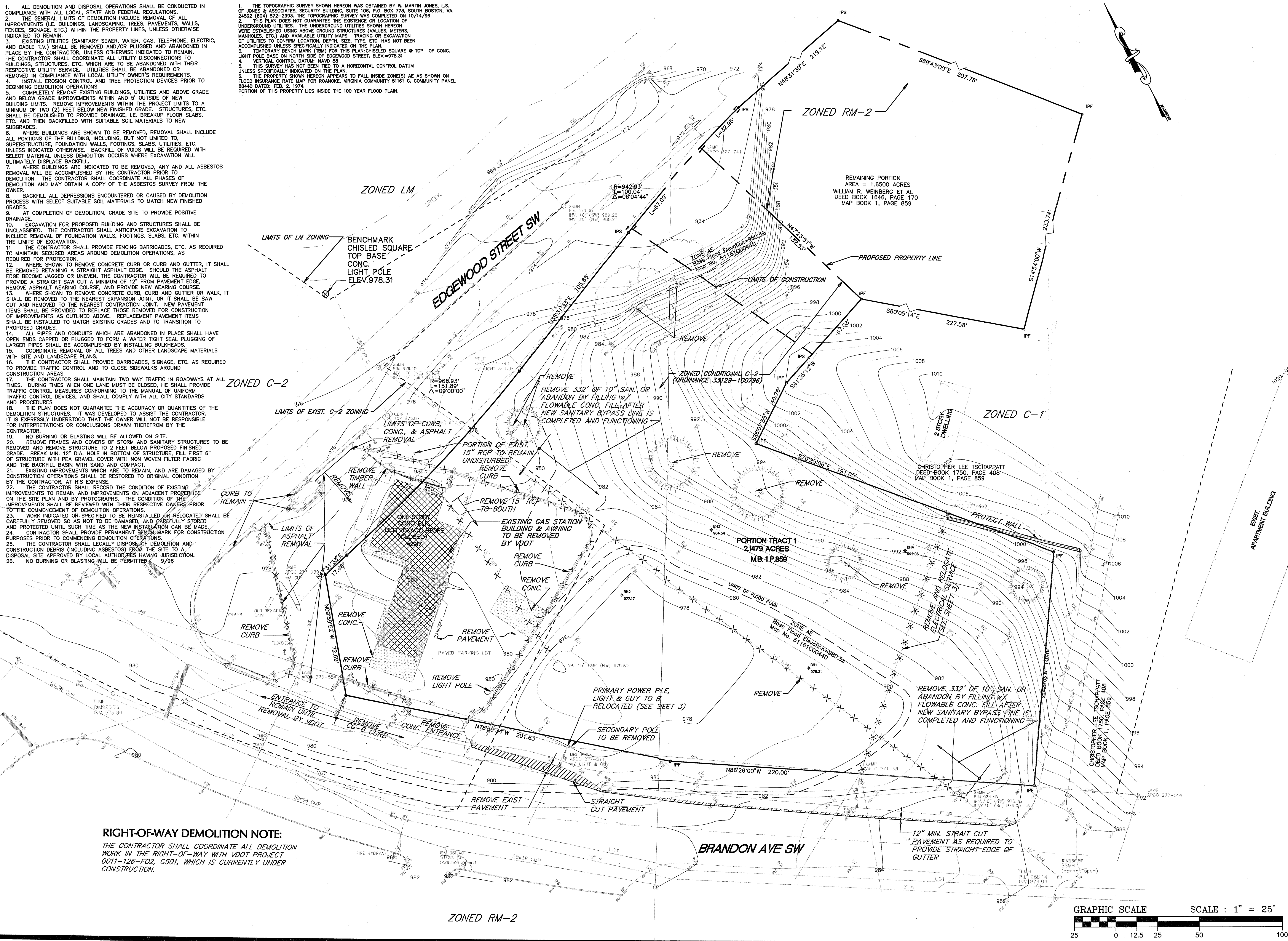


DEMOLITION NOTES

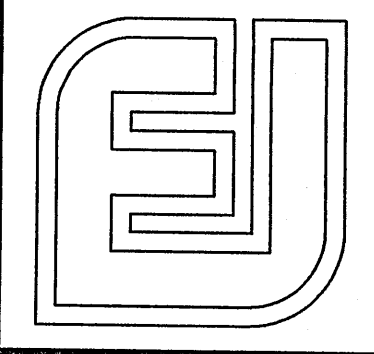
- ALL DEMOLITION AND DISPOSAL OPERATIONS SHALL BE CONDUCTED IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE GENERAL LIMITS OF DEMOLITION INCLUDE REMOVAL OF ALL IMPROVEMENTS (I.E. BUILDINGS, LANDSCAPING, TREES, PAVEMENTS, WALLS, FENCES, SIGNAGE, ETC.) WITHIN THE PROPERTY LINES, UNLESS OTHERWISE INDICATED TO REMAIN.
- EXISTING UTILITIES (SANITARY SEWER, WATER, GAS, TELEPHONE, ELECTRIC, AND CABLE T.V.) SHALL BE REMOVED AND/OR PLUGGED AND ABANDONED IN PLACE BY THE CONTRACTOR, UNLESS OTHERWISE INDICATED TO REMAIN. THE CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTIONS TO BUILDINGS, STRUCTURES, ETC. WHICH ARE TO BE ABANDONED WITH THEIR RESPECTIVE UTILITY SERVICE. UTILITIES SHALL BE ABANDONED OR REMOVED IN COMPLIANCE WITH LOCAL UTILITY OWNER'S REQUIREMENTS.
- INSTALL EROSION CONTROL AND TREE PROTECTION DEVICES PRIOR TO BEGINNING DEMOLITION OPERATIONS.
- COMPLETELY REMOVE EXISTING BUILDINGS, UTILITIES AND ABOVE GRADE AND BELOW GRADE IMPROVEMENTS WITHIN AND 5' OUTSIDE OF NEW BUILDING LIMITS. REMOVE IMPROVEMENTS WITHIN THE PROJECT LIMITS TO A MINIMUM OF TWO (2) FEET BELOW NEW FINISHED GRADE. STRUCTURES, ETC. SHALL BE DEMOLISHED TO PROVIDE DRAINAGE, I.E. BREAKUP FLOOR SLABS, ETC. AND THEN BACKFILLED WITH SUITABLE SOIL MATERIALS TO NEW SUBGRADES.
- WHERE BUILDINGS ARE SHOWN TO BE REMOVED, REMOVAL SHALL INCLUDE ALL PORTIONS OF THE BUILDING, INCLUDING, BUT NOT LIMITED TO, SUPERSTRUCTURE, FOUNDATION WALLS, FOOTINGS, SLABS, UTILITIES, ETC. UNLESS INDICATED OTHERWISE. BACKFILL OF VOIDS WILL BE REQUIRED WITH SELECT MATERIAL UNLESS DEMOLITION OCCURS WHERE EXCAVATION WILL ULTIMATELY DISPLACE BACKFILL.
- WHERE BUILDINGS ARE INDICATED TO BE REMOVED, ANY AND ALL ASBESTOS REMOVAL WILL BE ACCOMPLISHED BY THE CONTRACTOR PRIOR TO DEMOLITION. THE CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION AND MAY OBTAIN A COPY OF THE ASBESTOS SURVEY FROM THE OWNER.
- BACKFILL ALL DEPRESSIONS ENCOUNTERED OR CAUSED BY DEMOLITION PROCESS WITH SELECT SUITABLE SOIL MATERIALS TO MATCH NEW FINISHED GRADES.
- AT COMPLETION OF DEMOLITION, GRADE SITE TO PROVIDE POSITIVE DRAINAGE.
- EXCAVATION FOR PROPOSED BUILDING AND STRUCTURES SHALL BE UNCLASSIFIED. THE CONTRACTOR SHALL ANTICIPATE EXCAVATION TO INCLUDE REMOVAL OF FOUNDATION WALLS, FOOTINGS, SLABS, ETC. WITHIN THE LIMITS OF EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE FENCING BARRICADES, ETC. AS REQUIRED TO MAINTAIN SECURED AREAS AROUND DEMOLITION OPERATIONS, AS REQUIRED FOR PROTECTION.
- WHERE SHOWN TO REMOVE CONCRETE CURB OR CURB AND GUTTER, IT SHALL BE REMOVED RETAINING A STRAIGHT ASPHALT EDGE. SHOULD THE ASPHALT EDGE BECOME JAGGED OR UNEVEN, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A STRAIGHT SAW CUT A MINIMUM OF 12" FROM PAVEMENT EDGE. REMOVE ASPHALT WEARING COURSE, AND PROVIDE NEW WEARING COURSE.
- WHERE SHOWN TO REMOVE CONCRETE CURB, CURB AND GUTTER OR WALK, IT SHALL BE REMOVED TO THE NEAREST EXPANSION JOINT, OR IT SHALL BE SAW CUT AND REMOVED TO THE NEAREST CONTRACTION JOINT. NEW PAVEMENT ITEMS SHALL BE PROVIDED TO REPLACE THOSE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS AS OUTLINED ABOVE. REPLACEMENT PAVEMENT ITEMS SHALL BE INSTALLED TO MATCH EXISTING GRADES AND TO TRANSITION TO PROPOSED GRADES.
- ALL PIPES AND CONDUITS WHICH ARE ABANDONED IN PLACE SHALL HAVE OPEN ENDS CAPPED OR PLUGGED TO FORM A WATER TIGHT SEAL. PLUGGING OF LARGER PIPES SHALL BE ACCOMPLISHED BY INSTALLING BULKHEADS.
- COORDINATE REMOVAL OF ALL TREES AND OTHER LANDSCAPE MATERIALS WITH SITE AND LANDSCAPE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNAGE, ETC. AS REQUIRED TO PROVIDE TRAFFIC CONTROL AND TO CLOSE SIDEWALKS AROUND CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC IN ROADWAYS AT ALL TIMES. DURING TIMES WHEN ONE LANE MUST BE CLOSED, HE SHALL PROVIDE TRAFFIC CONTROL MEASURES CONFORMING TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND SHALL COMPLY WITH ALL CITY STANDARDS AND PROCEDURES.
- THE PLAN DOES NOT GUARANTEE THE ACCURACY OR QUANTITIES OF THE DEMOLITION STRUCTURES. IT WAS DEVELOPED TO ASSIST THE CONTRACTOR. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.
- NO BURNING OR BLASTING WILL BE ALLOWED ON SITE.
- REMOVE FRAMES AND COVERS OF STORM AND SANITARY STRUCTURES TO BE REMOVED AND REMOVE STRUCTURE TO 2 FEET BELOW PROPOSED FINISHED GRADE. BREAK MIN. 12" DIA. HOLE IN BOTTOM OF STRUCTURE, FILL FIRST 6" OF STRUCTURE WITH PEA GRAVEL COVER WITH NON WOVEN FILTER FABRIC AND THE BACKFILL BASIN WITH SAND AND COMPACT.
- EXISTING IMPROVEMENTS WHICH ARE TO REMAIN, AND ARE DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR, AT HIS EXPENSE.
- THE CONTRACTOR SHALL RECORD THE CONDITION OF EXISTING IMPROVEMENTS TO REMAIN AND IMPROVEMENTS ON ADJACENT PROPERTIES ON THE SITE PLAN AND BY PHOTOGRAPHS. THE CONDITION OF THE IMPROVEMENTS SHALL BE REVIEWED WITH THEIR RESPECTIVE OWNERS PRIOR TO THE COMMENCEMENT OF DEMOLITION OPERATIONS.
- WORK INDICATED OR SPECIFIED TO BE REINSTALLED OR RELOCATED SHALL BE CAREFULLY REMOVED SO AS NOT TO BE DAMAGED, AND CAREFULLY STORED AND PROTECTED UNTIL SUCH TIME AS THE NEW INSTALLATION CAN BE MADE.
- CONTRACTOR SHALL PROVIDE PERMANENT BENCHMARK FOR CONSTRUCTION PURPOSES PRIOR TO COMMENCING DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL LEGALLY DISPOSE OF DEMOLITION AND CONSTRUCTION DEBRIS (INCLUDING ASBESTOS) FROM THE SITE TO A DISPOSAL SITE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- NO BURNING OR BLASTING WILL BE PERMITTED. 9/96

LAND SURVEY NOTES

- THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS OBTAINED BY W. MARTIN JONES, L.S. OF JONES & ASSOCIATES, SECURITY BUILDING, SUITE 108, P.O. BOX 773, SOUTH BOSTON, VA. 24592 (804) 572-2983. THE TOPOGRAPHIC SURVEY WAS COMPLETED ON 10/14/96.
- THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES. THE UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED USING ABOVE GROUND STRUCTURES (VALVES, METERS, MANHOLES, ETC.) AND AVAILABLE UTILITY MAPS. TRACING OR EXCAVATION OF UTILITIES TO CONFIRM LOCATION, DEPTH, SIZE, TYPE, ETC. HAS NOT BEEN ACCOMPLISHED UNLESS SPECIFICALLY INDICATED ON THE PLAN.
- TEMPORARY BENCHMARK (TBM) FOR THIS PLAN: CHISELED SQUARE • TOP OF CONC. LIGHT POLE BASE ON NORTH SIDE OF EDGEWOOD STREET, ELEV. 978.31
- VERTICAL CONTROL DATUM: NAVD 88
- THIS SURVEY HAS NOT BEEN TIED TO A HORIZONTAL CONTROL DATUM UNLESS SPECIFICALLY INDICATED ON THE PLAN
- THE PROPERTY SHOWN HEREON APPEARS TO FALL INSIDE ZONE(S) AE AS SHOWN ON FLOOD INSURANCE RATE MAP FOR ROANOKE, VIRGINIA COMMUNITY 51161 C, COMMUNITY PANEL 88440 DATED: FEB. 2, 1974. PORTION OF THIS PROPERTY LIES INSIDE THE 100 YEAR FLOOD PLAN.



Langley and McDonald, P.C.
Engineers • Surveyors • Planners
Landscape Architects • Environmental Consultants
VIRGINIA BEACH
WILLIAMSBURG



DES.	DMA	CCC	CHK.	MWS	DATE
					10/15/96

TOPOGRAPHIC SURVEY & DEMOLITION PLAN
2.15 Acres Northeast of the Intersection of Brandon Avenue SW and Edgewood Street SW, in the City of Roanoke, Virginia
for
RITE AID CORPORATION
30 Hunter Lane
Camp Hill, PA 17011
STORE NO. 9095-01

PROJ. NO.	94100-54
SCALE:	1" = 25'
SHEET	2 OF 9
DWG. NO.	24741 H