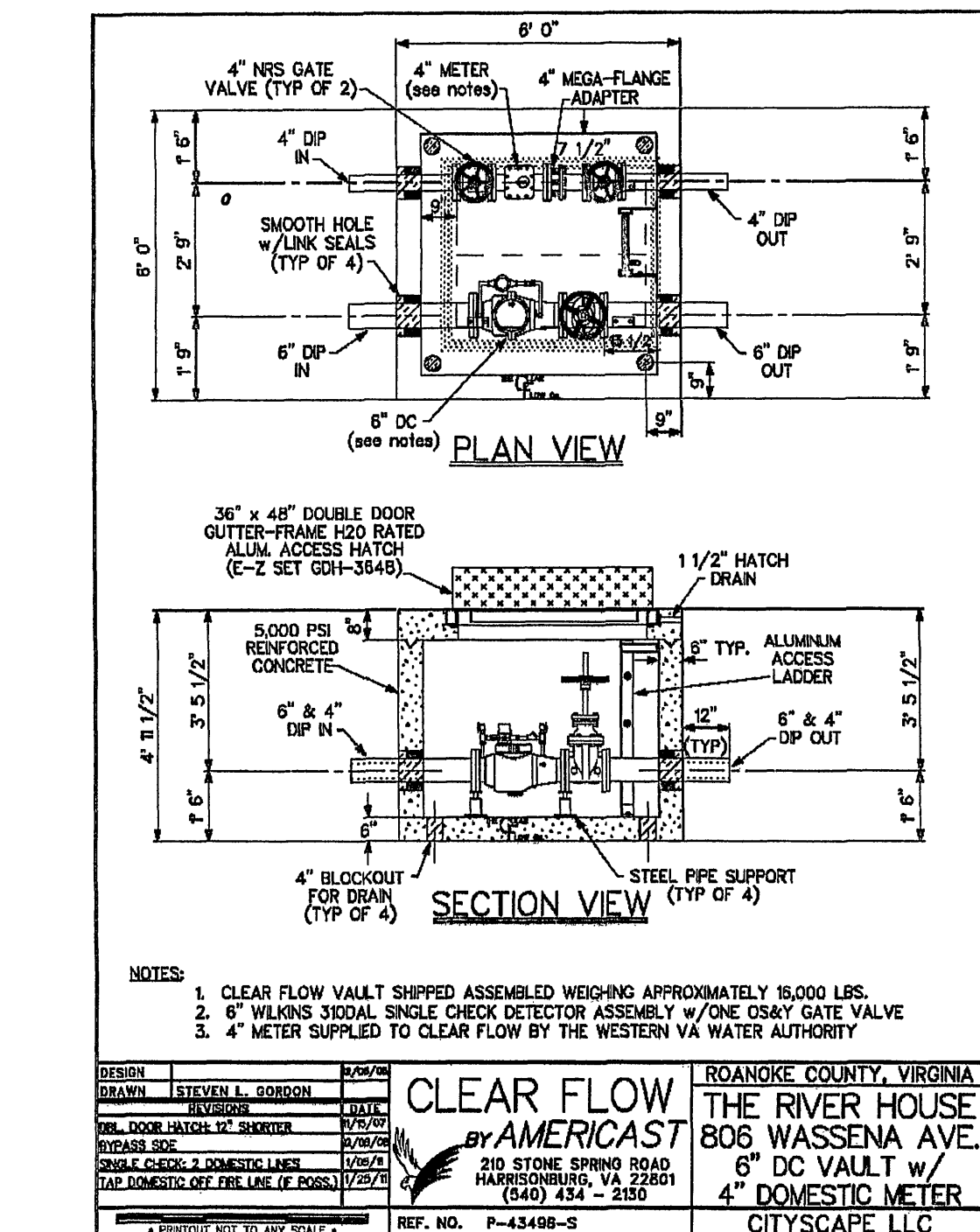
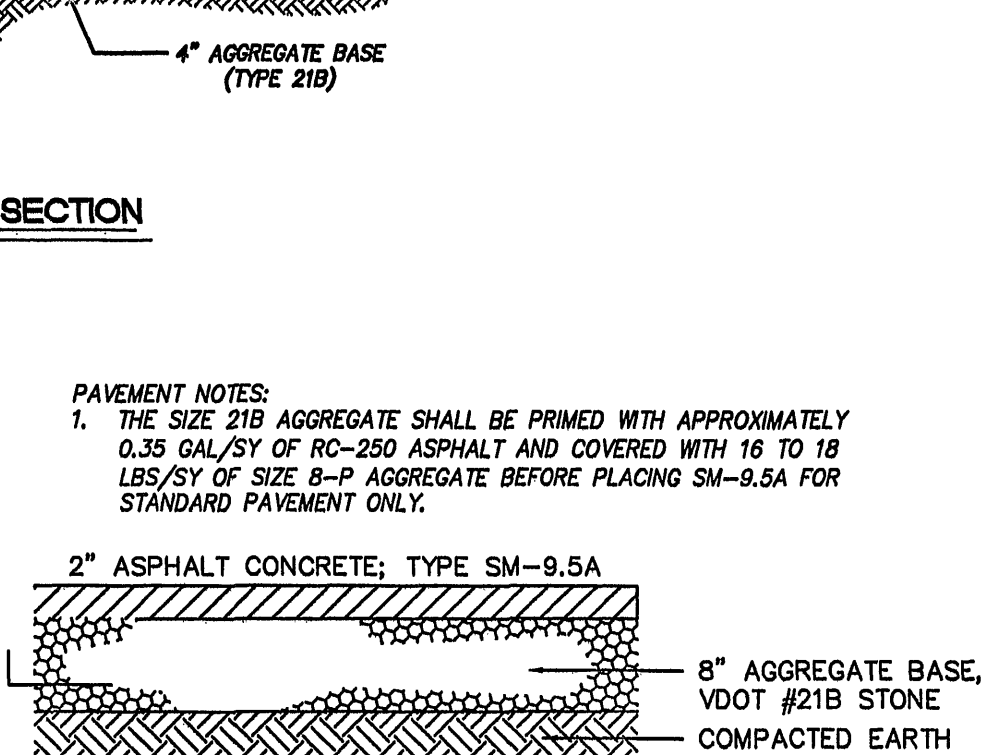
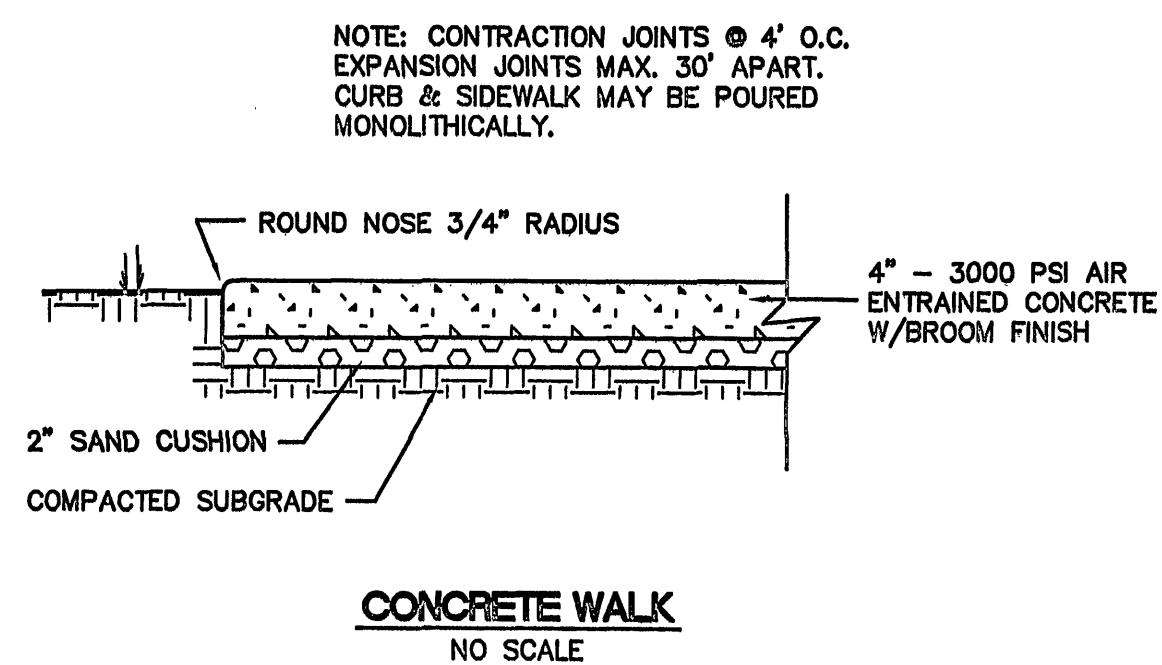


1. Standard commercial "Entrance" shall have a minimum curb radius (R) of 7 1/2 feet.
- 1A. Minimum Entrance width to be 12 feet.
2. Where curb & gutter already exists both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint removal & reconstruction shall be to that joint. Any concrete removed at other than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose and also be applied to the street pavement.
3. Where sidewalk exists or is to be constructed across driveways the thickness thereof must correspond with the thickness of the entrance.
4. Whenever "Entrances" exceeds twenty-four (24) feet in width a 1/2" premolded expansion joint filler shall be installed through the center perpendicular to flow line.
5. Finish "Entrances" shall have a "course broom finish" running parallel to flow line.
6. Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per 150 square feet.
7. All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to line and grades established by the City Engineering Department.
8. Entrances exceeding 30 feet in width shall be approved by the City Manager.

CITY OF ROANOKE COMMERCIAL "ENTRANCE" STANDARD



ASPHALT PAVEMENT DETAIL



CONCRETE WALK
NO SCALE

- # SITE AND ZONING REGULATIONS
- ZONING DISTRICT:** UF – URBAN FLEX
- PORTIONS OF THE PARCELS ARE SUBJECT TO THE FLOODPLAIN OVERLAY REQUIREMENTS**
- PROPOSED USE:** MULTI-FAMILY RESIDENTIAL & COMMERCIAL AND OFF-SITE PARKING
- SITE AREAS:** TR #1133313 – 1.478 AC (64,497 SF)
TR #1133303, 1133304, 1133305, 1133309 – 0.149 AC EACH (8,500 SF EACH)
- MINIMUM LOT AREA:** NONE
- MINIMUM LOT AREA:** 67,120 SF
- MINIMUM LOT FRONTAGE:** NONE
- MINIMUM LOT FRONTAGE:** 200'
- MINIMUM FRONT YARD:** 0'
- MINIMUM FRONT YARD:** 10'
- MINIMUM SIDE YARD:** 0'
- MINIMUM REAR YARD:** 0'
- MINIMUM HEIGHT:** 60'
- MINIMUM FLOOR AREA RATIO:** NONE
- MINIMUM IMPERVIOUS SURFACE AREA:** 100%
- MINIMUM PARKING REQUIREMENT:** NOT APPLICABLE
- MINIMUM PARKING PERMITTED:** 140% OF MINIMUM PARKING SPACES
- MINIMUM PARKING SPACES (PER TABLE 608-2) = 1.5 SPACES PER UNIT X 120 UNITS = 192 SPACES**
- MINIMUM PARKING PERMITTED = 140% OF 192 SPACES = 269 PARKING SPACES**
- PARKING SPACES PROVIDED = 124 SPACES**
- PEDESTRIAN ACCESS REQUIREMENT:** APPLICABLE
- MINIMUM BUILDING FOOTPRINT:** NONE
- MINIMUM GROUND FLOOR FACADE TRANSPARENCY:** 25%
- MINIMUM TREE CANOPY:** 0%
- SEE SHEET 6, "LANDSCAPE PLAN," THIS SET FOR PARKING AREA TREE CANOPY REQUIREMENT CALCULATIONS**

GENERAL NOTES

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROUNKOE CITY TAX ASSESSMENT MAP Nos. 1130303,
1130304, 1130305, 1130306 & 1130313, INSTRUMENT NO. 040221569.
2. OWNER: ICE HOUSE LLC
3. DEVELOPER: CITSOURCE, LLC ATTN: NATHAN WILSON 540-730-7727
4. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUNSEN ASSOCIATES, P.C. DATED 2011.
5. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUNSEN ASSOCIATES, P.C. IN 2011.
6. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT, AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT
PROPERTY THAT ARE NOT SHOWN HEREON.
7. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND
SANITARY SEWER.
8. THE PROPERTY ON THESE PLANS SHALL BE ADJACENT BY PUBLIC STREETS.
9. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT
RESIDENTIAL PROPERTIES OR RIGHT-OF-WAY. EXCESSIVE LIGHTING DENSITY AT ADJUDGING PROPERTIES OR RIGHT
OF WAYS SHALL NOT EXCEED 80 FOOT CANDLES.
10. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR EXTERIOR SIGNAGE.
11. NO CONSTRUCTION/FIELD REMEDIATIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY
OF ROUNKOE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
12. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN
EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SLEED OR BLOCKED IN ANY WAY DUE TO THE
CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
13. THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS
CRITERION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS BEEN VERIFIED BY ACTUAL
FIELD ELEVATIONS. SEE COMMUNITY PANEL NO. 510130 0164 & MAP NUMBER 510161060, DATED SEPTEMBER 26,
2007, ZONE "A".
14. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN
STRUCTURE, SANITARY SEWER MANHOLES, AND ALL OTHER SURFACE UTILITIES WITHIN FIELD LOCATED.
15. UNDERGROUND UTILITIES SHOWN WERE OBSERVED USING ABOVE GROUND STRUCTURES, MISS UTILITY
MARKINGS AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROPRIATE AND SHOULD BE
FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
16. ALL UTILITY SERVICE LATERALS OR SERVICE LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND.

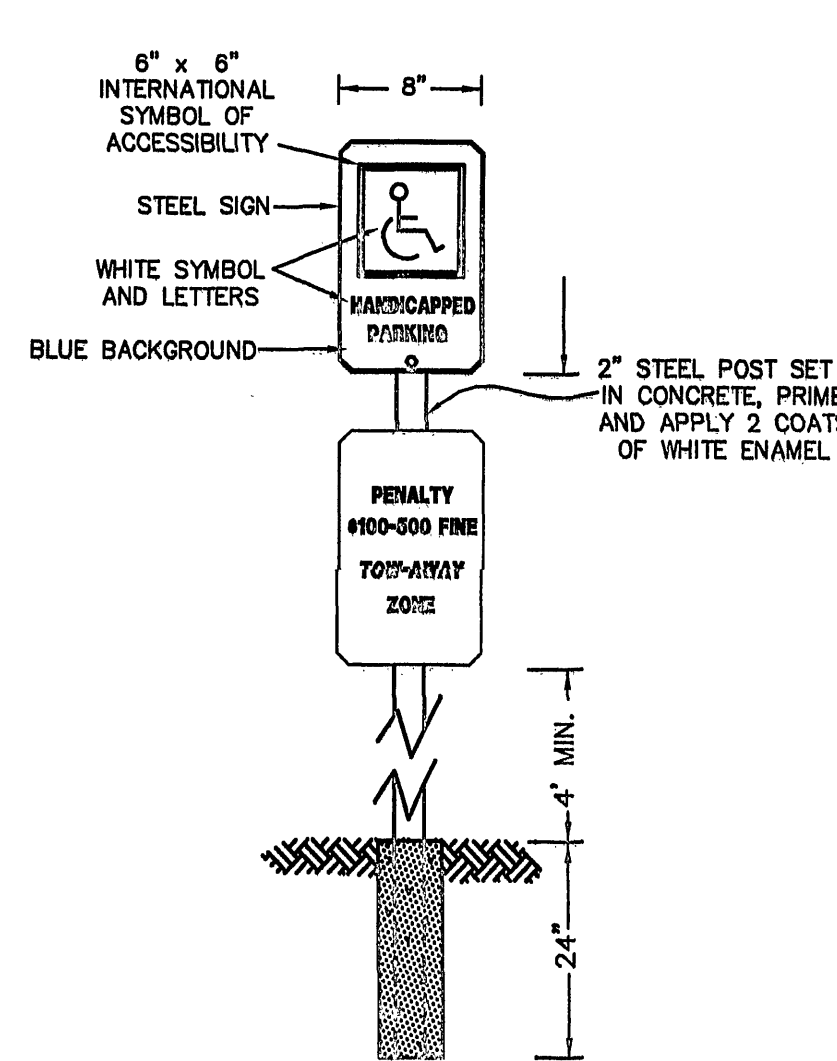
CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE VDOT ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
4. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND RESPONDED BY THE WESTERN VIRGINIA WATER AUTHORITY.
5. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTION COVER.
6. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
7. THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURNING OF MATERIAL SHALL NOT BE PERMITTED.

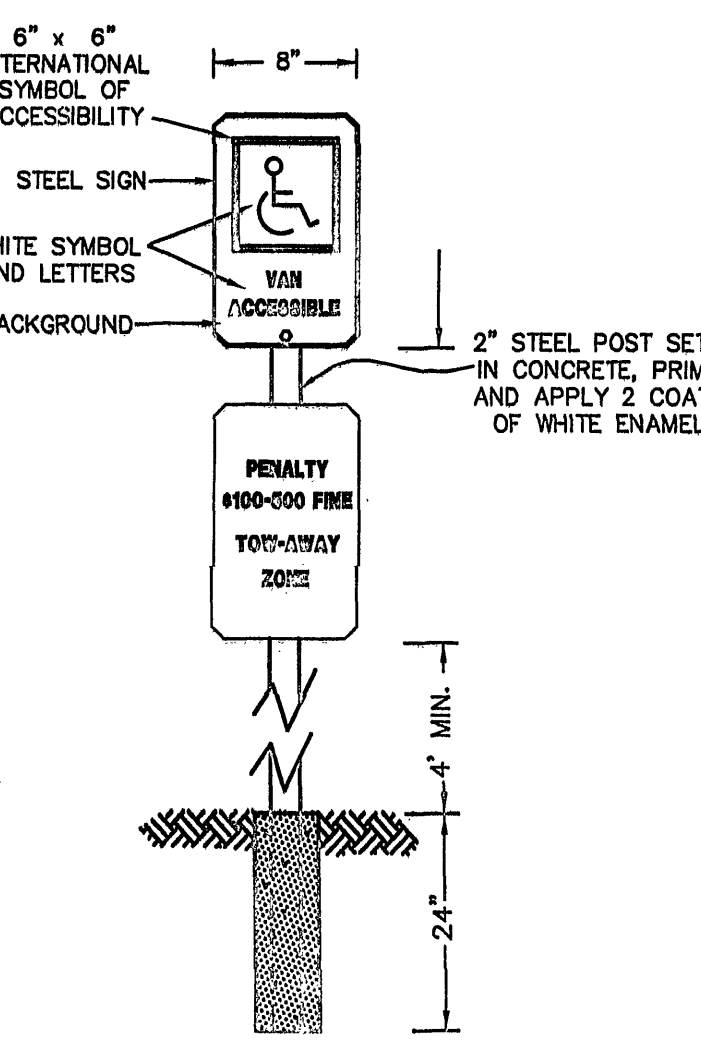
GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILES.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN BIGHT (3) INCH LAYER THICKS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D693, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. A DETAILED SURFACE SOILS REPORT HAS NOT BEEN FURNISHED TO THE DESIGNING ENGINEER (LUNDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF MINNIESOTA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUNDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

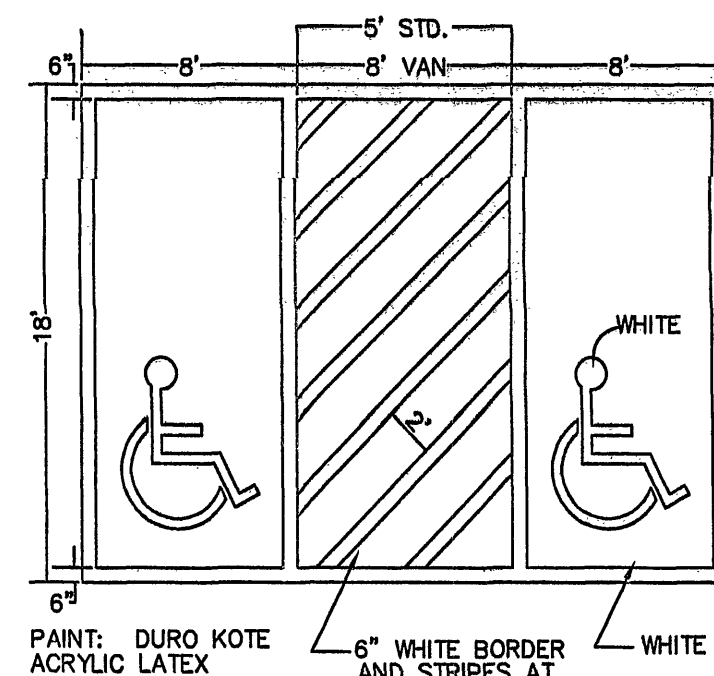
This Topographic Survey was completed under the direct and responsible charge of, Timothy Hoelzle, LS #1754 from an actual Ground survey made under my supervision; that the imagery and/or original data was obtained December, 2011; and that this plat, map, or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted.



HANDICAP PARKING SIGN (S1)

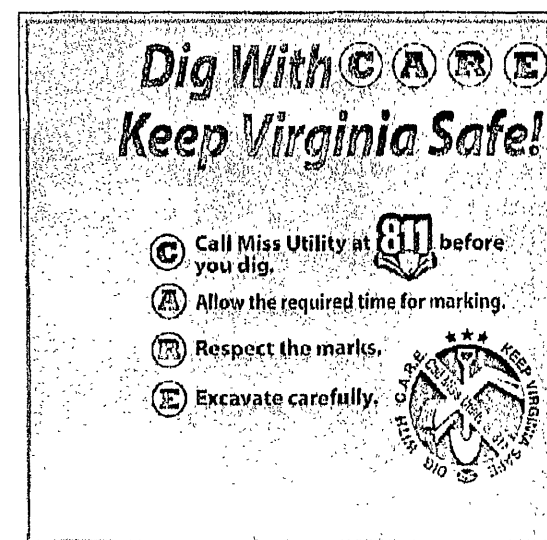


VAN ACCESSIBLE
HANDICAP PARKING SIGN (S2)



HANDICAP PARKING SPACE

APPROVED
APR 13 2012

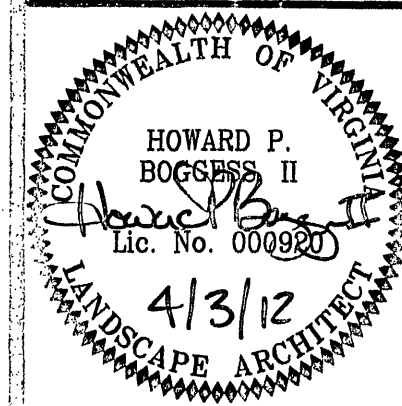


L A

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

1664 BRAMBLETON AVENUE
P.O. BOX 20699
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
FAX: (540) 772-9945
E-MAIL: MAIL@LUMSDENPC.COM

NOTES AND
DETAILS

**DEVELOPMENT PLAN FOR
RIVER HOUSE
PREPARED FOR
CITYSCOPE, LLC
ROANOKE CITY, VIRGINIA**

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		

DATE: April 3, 2012

SCALE: NO SCALE

COMMISSION NO: 11-230

SHEET 2 OF 10