

SITE SUMMARY

OWNER/DEVELOPER: RUSSLLEN FARMS LAND CO LLC
3922 ELECTRIC RD STE 1A
ROANOKE, VIRGINIA 24018

TAX MAP NUMBER: 056.03-05-10.01-0000

EXISTING LOT SIZE: 10.163 ACRES

DEVELOPED AREA: 4.75 ACRES

DISTURBED AREA: 7.4 ACRES

OWNER: R-1 LOW DENSITY RESIDENTIAL DISTRICT
(ZERO LOT LINE OPTION)

PROPOSED USE: SINGLE FAMILY DWELLING, DETACHED, ZERO LOT
LINE OPTION

MINIMUM LOT SIZE REQUIRED: 0.17 AC./7,200 SQ.FT.

MINIMUM LOT FRONTAGE REQUIRED: 48', 30' ON CUL-DE-SAC

LOT FRONTAGE PROVIDED: 58' MINIMUM

SETBACKS: FRONT 30' FOR R/W NOT WITHIN DEVELOPMENT,
OTHERWISE 24'

SIDE 10' WHEN ADJACENT TO PROPERTY NOT
WITHIN COMMON DEVELOPMENT -
OTHERWISE ONE 10'YARD AND ONE ZERO
YARD

REAR 25' WHEN ADJACENT TO PROPERTY NOT
WITHIN COMMON DEVELOPMENT OTHERWISE
20'

MAXIMUM BUILDING HEIGHT: 45'

MAXIMUM LOT COVERAGE: 50%

MAXIMUM BUILDING COVERAGE: 35%

WATER: PUBLIC

SEWER: PUBLIC

ROADWAY: PUBLIC

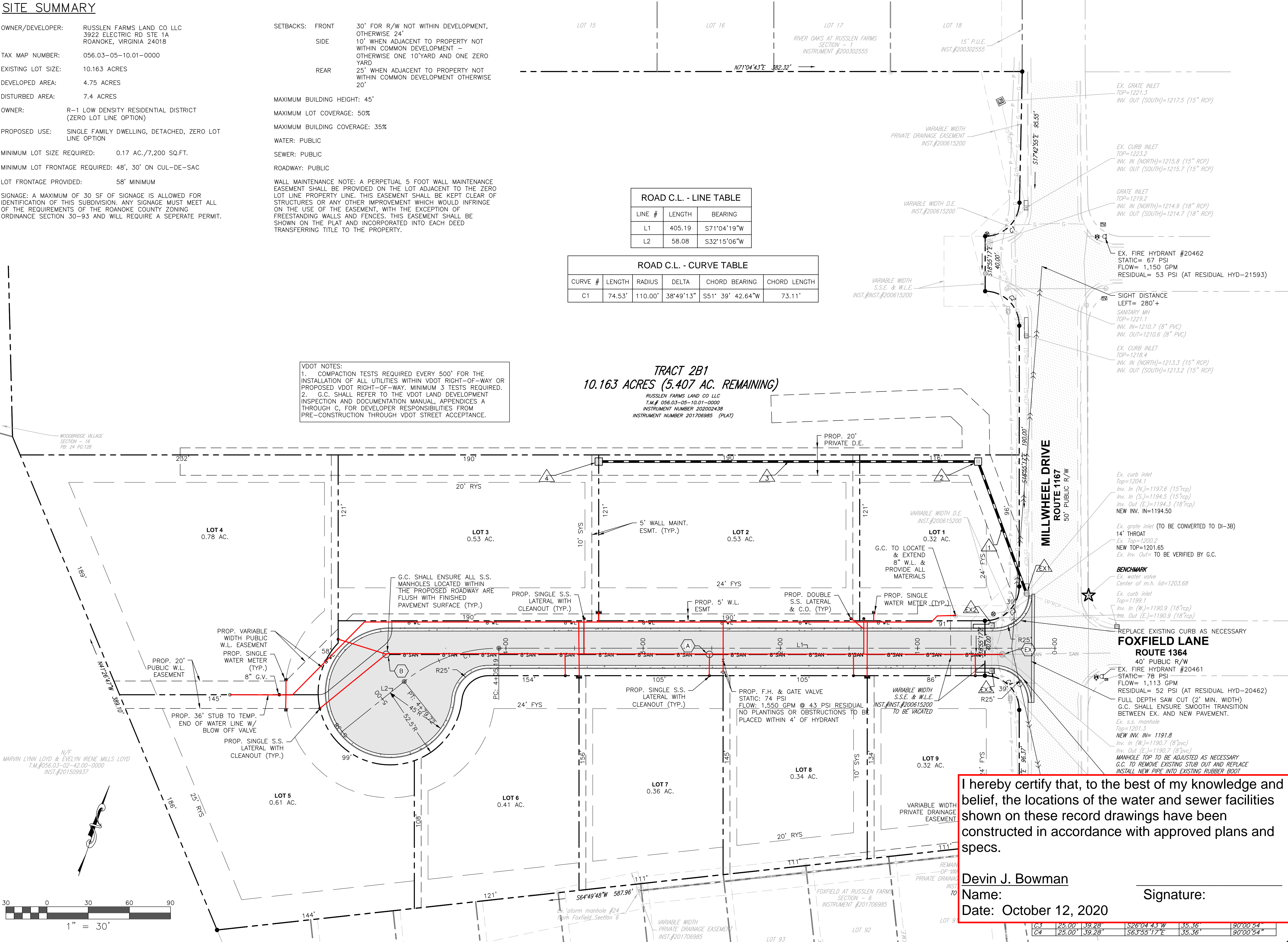
WALL MAINTENANCE NOTE: A PERPETUAL 5 FOOT WALL MAINTENANCE
EASEMENT SHALL BE PROVIDED ON THE LOT ADJACENT TO THE ZERO
LOT LINE PROPERTY LINE. THIS EASEMENT SHALL BE KEPT CLEAR OF
STRUCTURES OR ANY OTHER IMPROVEMENT WHICH WOULD INFRINGE
ON THE USE OF THE EASEMENT, WITH THE EXCEPTION OF
FREESTANDING WALLS AND FENCES. THIS EASEMENT SHALL BE
SHOWN ON THE PLAT AND INCORPORATED INTO EACH DEED
TRANSFERRING TITLE TO THE PROPERTY.

ROAD C.L. - LINE TABLE		
LINE #	LENGTH	BEARING
L1	405.19	S71°04'19"W
L2	58.08	S32°15'06"W

ROAD C.L. - CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	74.53'	110.00'	38°49'13"	S51° 39' 42.64"W	73.11'

VDOT NOTES:
1. COMPACTION TESTS REQUIRED EVERY 500' FOR THE
INSTALLATION OF ALL UTILITIES WITHIN VDOT RIGHT-OF-WAY OR
PROPOSED VDOT RIGHT-OF-WAY. MINIMUM 3 TESTS REQUIRED.
2. G.C. SHALL REFER TO THE VDOT LAND DEVELOPMENT
INSPECTION AND DOCUMENTATION MANUAL, APPENDICES A
THROUGH C, FOR DEVELOPER RESPONSIBILITIES FROM
PRE-CONSTRUCTION THROUGH VDOT STREET ACCEPTANCE.

TRACT 2B1
10.163 ACRES (5.407 AC. REMAINING)
RUSSLLEN FARMS LAND CO LLC
T.M.# 056.03-05-10.01-0000
INSTRUMENT NUMBER 202002438
INSTRUMENT NUMBER 201706985 (PLAT)



I hereby certify that, to the best of my knowledge and belief, the locations of the water and sewer facilities shown on these record drawings have been constructed in accordance with approved plans and specs.

Devin J. Bowman
Name: _____
Date: October 12, 2020

Signature: _____

BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg

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Roanoke, VA 24018
540.772.9580

COMMONWEALTH OF VIRGINIA
CHRISTOPHER P. BURNS
Lic. No. 47338
3/30/21
PROFESSIONAL ENGINEER

RIVER OAKS SECTION 3

LAYOUT & UTILITY PLAN

MILLWHEEL DR
COUNTY OF ROANOKE, VA

DRAWN BY: KAM
DESIGNED BY: CPB
CHECKED BY: CPB
DATE: 1/6/2021
SCALE: 1" = 30'
REVISIONS:
3/8/2021
3/30/2021

PROJECT NO. 04200041.00

APPROVED, 5/13/2021