

SITE WORK LEGEND

NEW	EXISTING	
		BLDG
		CONCRETE CURB
		CONCRETE CURB AND GUTTER
		HEAVY DUTY PAVEMENT
		LIGHT DUTY PAVEMENT
		CONCRETE PAVEMENT
		GRAVEL
		SIDEWALK
		CONC WALK
		FENCE
		SIGN
		PROPERTY CORNER
		PROPERTY LINE
		CONTROL POINT
		BENCHMARK
		SANITARY LINE
		STORM LINE
		WATER LINE
		GAS LINE
		TELEPHONE LINE
		ELECTRIC LINE
		CATV
		DOMESTIC WATER LINE
		FIRE WATER LINE
		FOUNDATION DRAIN
		UTILITY EASEMENT
		MANHOLE
		CLEANOUT
		CURB/GRATE/DROP INLET
		FLARED END SECTION
		CULVERT INVERT
		WATER METER
		GAS METER
		FIRE HYDRANT
		WATER VALVE
		GAS VALVE
		POST INDICATOR VALVE
		LIGHT POLE
		UTILITY POLE
		GUY
		PEDESTAL
		TEST BORE
		FINISH FLOOR ELEVATION
		SPOT ELEVATIONS
		ELEVATION CONTOUR
		DEMOLITION AND REMOVAL
		DEMOLITION AND REMOVAL CENTER OR BASELINE

GENERAL CIVIL NOTES:

- THESE NOTES ARE FOR ALL CIVIL/SITE SHEETS.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS.
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF HIGHWAYS AND TRANSPORTATION DESIGN STANDARDS.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES AT HIS OWN INITIATIVE AND EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY REPAIR ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AND TO NOTIFY THE OWNERS REPRESENTATIVE AND ANY APPROPRIATE UTILITY COMPANIES OF THE DAMAGE.
- ALL MATERIAL GENERATED BY THE DEMOLITION SHALL BE HAULED FROM THE SITE AND DISPOSED OF PER CITY OF ROANOKE REGULATIONS. EXCESS EXCAVATED SOIL SHALL REMAIN ON SITE. REFER TO SOIL HANDLING/GROUNDWATER CONCERNS FOR CONSTRUCTION NOTES THIS SHEET.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER COMPLETION OF THE PROJECT. INDICATED ARE THE MINIMUM. OTHER MEASURES MAY BE REQUIRED BY THE EROSION CONTROL INSPECTOR. CONTRACTOR SHALL FURNISH AND INSTALL ALL MEASURES REQUIRED TO COMPLY WITH APPLICABLE REGULATIONS. REMOVE EROSION CONTROL MEASURES WHEN THE SITE HAS STABILIZED. INSTALL EROSION AND SEDIMENT CONTROL MEASURES AS THE FIRST STEP IN GRADING OPERATIONS. SEE SHEET CC101 FOR ADDITIONAL EROSION CONTROL NOTES.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AND OTHER CRITERIA ADOPTED BY THE CITY OF ROANOKE.
- NO WORK SHALL COMMENCE ON SITE UNTIL A LAND DISTURBING PERMIT IS ISSUED BY CITY OF ROANOKE.
- THE LAND DISTURBANCE PERMIT MUST BE KEPT ON SITE AT ALL TIMES AND SHOWN ON DEMAND.
- THE CITY OF ROANOKE MUST BE NOTIFIED WHEN THE WORK COMMENCES AND WHEN THE PROJECT IS COMPLETE.
- OTHER WORK (GRADING, EXCAVATING, CONSTRUCTION) ON THE PROJECT SHALL NOT COMMENCE UNTIL THE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AS SPECIFIED ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES REQUIRED BY THE STATE OF VIRGINIA, CITY OF ROANOKE, OR OTHER GOVERNING AGENCIES INVOLVED UNDER THIS CONTRACT.
- APPROPRIATE FENCING AND/OR BARRICADES SHALL BE USED WHEN DEMOLITION OCCURS NEAR PEDESTRIAN WALKWAYS.
- LENGTHS OF LINES INDICATED ON THE DRAWINGS FOR UTILITY SYSTEMS ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR DETERMINING THE EXACT AMOUNT OF PIPING REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS.
- TOP OF INLETS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY EXACT ELEVATION REQUIRED TO ASSURE STRUCTURE HEIGHT COMPLIES WITH THE PURPOSE OF THE STRUCTURE AND CONFORMS WITH ADJACENT FINISHED GRADES.
- DIMENSIONS AND COORDINATES SHOWN AT CURB ARE TO FACE OF CURB. SPOT ELEVATIONS SHOWN AT CURB INLETS ARE AT TOP ON INLETS. SPOT ELEVATIONS SHOWN ON DROP INLETS ARE AT TOP OF INLETS.
- PROVIDE POSITIVE DRAINAGE AT ALL GRADED AREAS.
- TOTAL DISTURBED AREA IS APPROXIMATELY 5.8 ACRES.
- THE 100 YEAR FLOOD ELEVATION AT THE PROJECT LOCATION IS 934. THE 10 YEAR FLOOD ELEVATION IS 927.

SOIL HANDLING/GROUNDWATER CONCERNS FOR CONSTRUCTION:

THE HSMM ENVIRONMENTAL DEPARTMENT HAS REVIEWED AVAILABLE REPORTS FOR THE PROPERTIES LOCATED IN THE AREA OF THE CARILION MASTER PLAN TO BE DEVELOPED BY HSMM. THIS AREA OF THE MASTER PLAN, ALSO KNOWN AS THE SOUTH JEFFERSON REDEVELOPMENT PROJECT, CONSISTS OF FIVE PROPERTIES. THE PROPERTIES AND OWNERS ARE AS FOLLOWS:

- SITE 2 - CARILION HEALTH SYSTEMS, INC., ROANOKE CITY MILLS, MR. SAM GOLDEN, AND MR. MARK MACON HALL PROPERTIES
- SITE 3 - BAB HOLDINGS PROPERTY (WHICH HOUSES SURFACES, INC.)
- SITE 4 - NORFOLK SOUTHERN RAILWAY COMPANY (NSRC) PROPERTY
- SITE 5 - CONMAT PROPERTIES, LC (WHICH HOUSES ROANOKE CONCRETE SUPPLY)
- PITZER TRANSFER PROPERTY

SITES 2, 3, 4, AND 5 ARE ENROLLED IN THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) VOLUNTARY REMEDIATION PROGRAM (VRP). THE PITZER TRANSFER PROPERTY WAS NOT ENROLLED IN THE VRP, AS HF2 DID NOT IDENTIFY ANY POTENTIAL ENVIRONMENTAL ISSUES ON THE SITE.

THE INITIAL SITE ASSESSMENT REPORT AND THE VOLUNTARY REMEDIATION REPORTS FOR SITES 2, 3, 4, AND 5 WERE REVIEWED. HSMM ACQUIRED THE REPORTS, WHICH WERE PREPARED BY HUGGINS, FAULKNER, & FLYNN (CURRENTLY KNOWN AS FAULKNER & FLYNN), FROM THE ROANOKE REDEVELOPMENT & HOUSING AUTHORITY (RRHA).

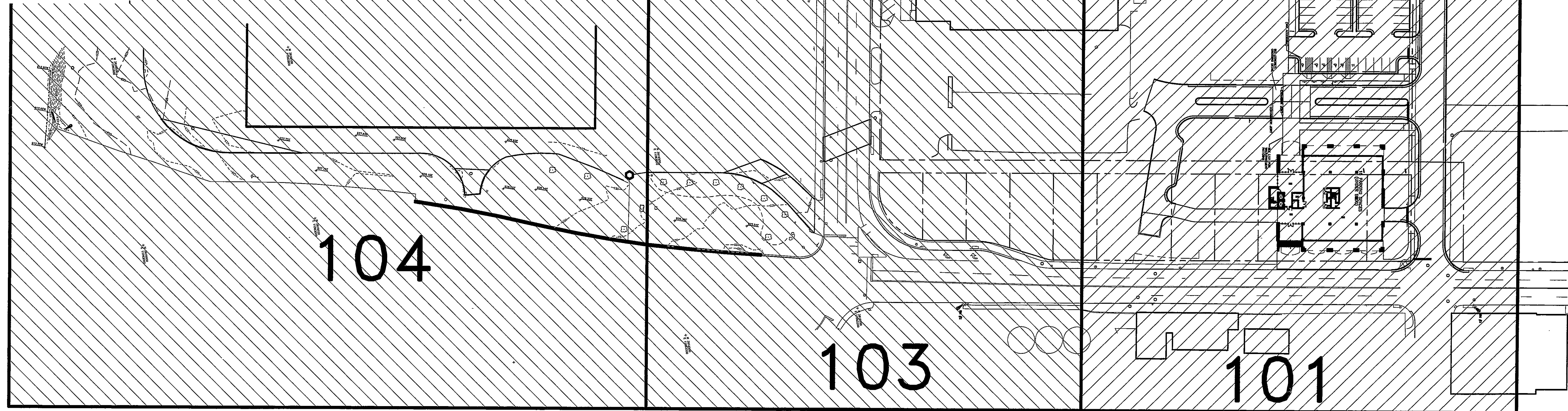
LISTED BELOW IS A SUMMARY OF CONSTRUCTION SAFETY CONCERNS FOR THE DEVELOPMENT OF THE RIVERSIDE CORPORATE CENTRE OFFICE BUILDING. THE LIMITS OF WORK FOR THIS PROJECT ARE WITHIN THE BOUNDS OF SITES 2, 4, AND 5.

- SOIL THAT MUST BE EXCAVATED WILL NEED TO BE STAGED IN A MANNER TO MINIMIZE POTENTIAL FOR EROSION OR GENERATION OF DUST. THE MATERIAL MUST NOT BE USED ELSEWHERE AS FILL.
- GROUNDWATER WILL NOT LIKELY BE ENCOUNTERED. IF DEWATERING BECOMES NECESSARY, THE GROUNDWATER SHOULD BE COLLECTED AND PROPERLY DISPOSED OF OFF-SITE. AS GROUNDWATER IS LIKELY IMPACTED, GROUNDWATER MAY NOT BE DISCHARGED DIRECTLY TO THE GROUND SURFACE, TO SURFACE WATER, OR TO STORM DRAINS. RISK TO CONSTRUCTION/UTILITY WORKERS COULD BECOME SIGNIFICANT IF GROUNDWATER IS ENCOUNTERED DURING WORK.
- CONSTRUCTION WORKERS SHOULD TAKE HEALTH AND SAFETY PRECAUTIONS (E.G., DUST SUPPRESSION AND USE OF PERSONAL PROTECTIVE EQUIPMENT (PPE) AS NEEDED) DURING SITE WORK/EXCAVATION PHASES OF CONSTRUCTION.

ZONING NOTES	
DISTRICT DESIGNATION	INPUD
BUILDING FUNCTION	OFFICE
NUMBER OF OCCUPIED LEVELS	4
MAXIMUM HEIGHT (FT)	75
GROSS FLOOR AREA (SF)	50,000
BUILDING FOOTPRINT AREA (SF)	14,500
TOTAL LOT SIZE (SF)	168,751
LOT SIZE (ACRES)	3.87
PAVED AREAS (SF)	74,302
LOT COVERAGE	8.5%
USABLE OPEN SPACE	47.5%
FLOOR AREA RATIO	0.30:1
FRONT SETBACK - S JEFFERSON ST (FT)	20
PARKING REQUIREMENT	167
REDUCTION (20%) FOR PUBLIC TRANSPORTATION ROUTE	-33
TOTAL NO. SPACES REQUIRED	134
PARKING PROVIDED	21
UNDER BUILDING	123
SURFACE PARKING	144
TOTAL NO. SPACES PROVIDED	144

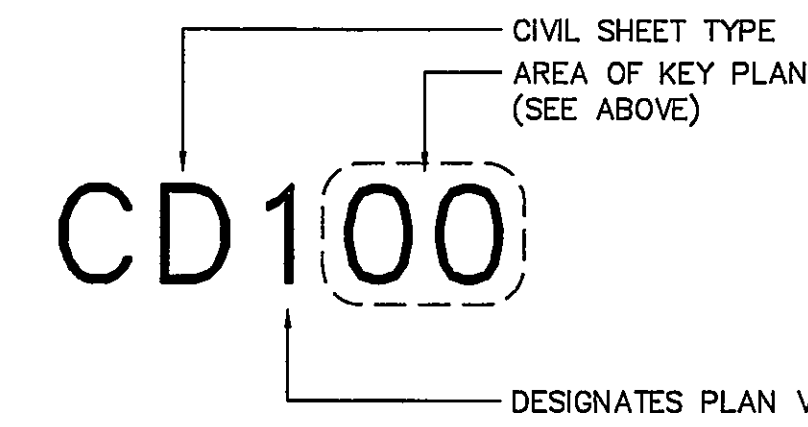
DESCRIPTION	QUANTITY	SUB AMOUNT	SUB NAME	TOTAL COST/UNIT	TOTAL AMOUNT
Supervision	1.00	10,000		10,000.00	10,000
General Requirements	1.00	10,000		10,000.00	10,000
Excavation	1.00	10,000		10,000.00	10,000
Earthwork	3.07	3,067	Joe Bandy	22,379.30	1,587
Paving Asphalt	1.00	10,000		10,000.00	10,000
Asphalt Paving	1.00	10,000		10,000.00	10,000
Paving Asphalt	1.00	10,000		10,000.00	10,000
Concrete Sidewalks	1,680.00	16,800		10.00	16,800
Concrete Sidewalks	1,680.00	16,800		10.00	16,800
Concrete Pavers	3,000.00	30,000		10.00	30,000
Black Pavers in Sand Bed by Landscape	3,070.00	30,700		10.00	30,700
Black Pavers in Marble Bed by Mason	3,070.00	30,700		10.00	30,700
Concrete Pavers	3,070.00	30,700		10.00	30,700
Storm Drainage	420.00	4,200		10.00	4,200
Storm Drainage	420.00	4,200		10.00	4,200
Storm Drainage	420.00	4,200		10.00	4,200
Site Electrical	1.00	10,000		10,000.00	10,000
Site Electrical	1.00	10,000		10,000.00	10,000
S. Jefferson	166,899				166,899

COST ESTIMATE FOR R.O.W. IMPROVEMENTS



SHEET NUMBERING

SHEET NAMES FOR 100-SERIES (PLAN VIEW) SHEETS USE THE CONVENTION IN THE FOLLOWING EXAMPLE:

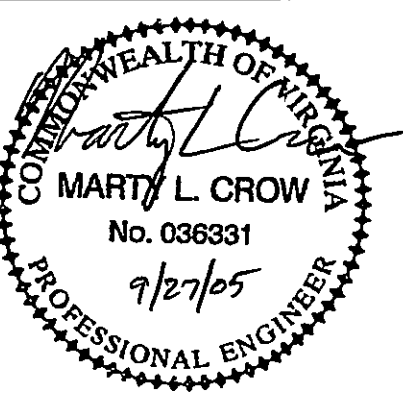


HSMM

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SEALS



CONSULTANT

CONSULTANT

CARILION

Health System

RIVERSIDE
CORPORATE CENTRE
OFFICE BUILDING

CARILION HEALTH SYSTEM

ROANOKE, VIRGINIA

REV	DATE	DESCRIPTION	APP

COMM NO: 40049
ISSUE DATE: SEPTEMBER 16, 2005
DESIGNED BY: TJG DRAWN BY: TJG
CHECKED BY: MLC SUBMITTED BY: GLH
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CIVIL

SHEET LAYOUT PLAN

C001

60' 30' 0 60' 120'
1"=60'
GRAPHIC SCALES