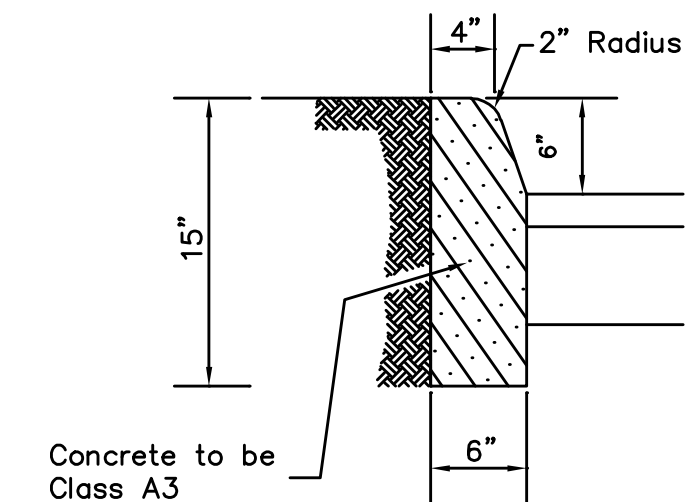


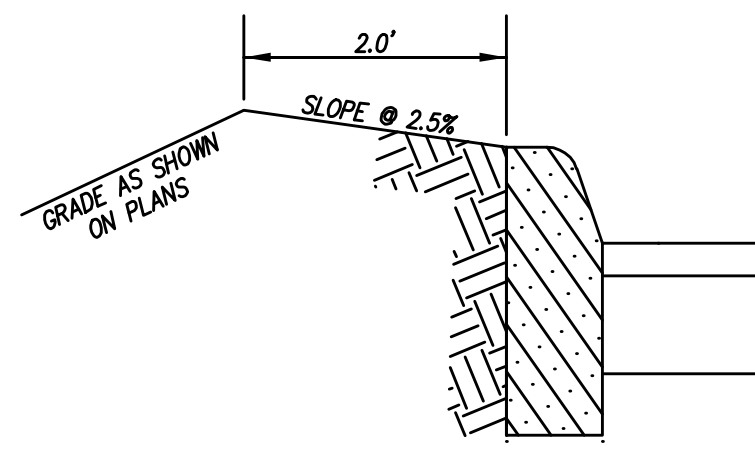
CONCRETE CURB &amp; GUTTER (CG-6)

NO SCALE



CONCRETE CURB (CG-2)

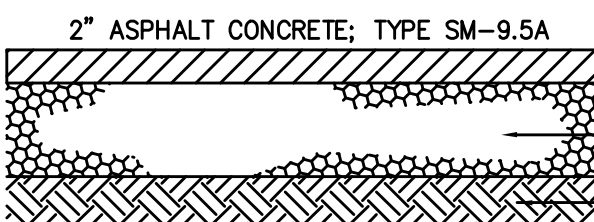
NO SCALE

SEE VDOT ROAD AND BRIDGE STANDARDS FOR  
ADDITIONAL NOTES AND DETAILS FOR CG-2 AND CG-6BACK OF CURB DETAIL  
FOR CG-2 AND CG-6 CURB

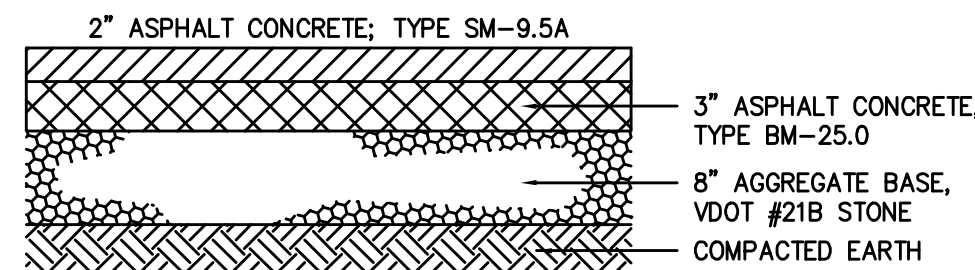
NO SCALE

PAVEMENT NOTES:

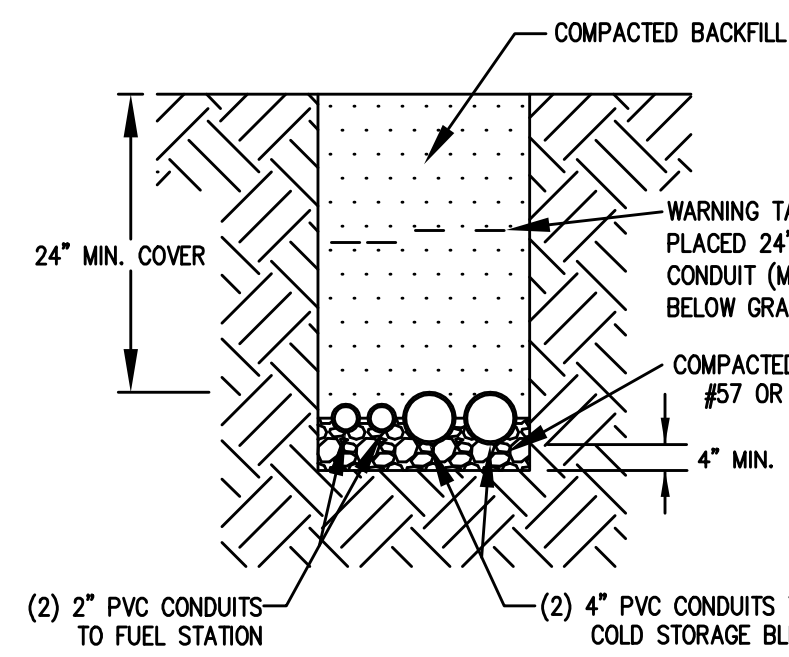
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.

STANDARD-DUTY  
ASPHALT PAVEMENT DETAIL

NO SCALE

HEAVY-DUTY  
ASPHALT PAVEMENT DETAIL

NO SCALE



UTILITY TRENCH DETAIL

NO SCALE

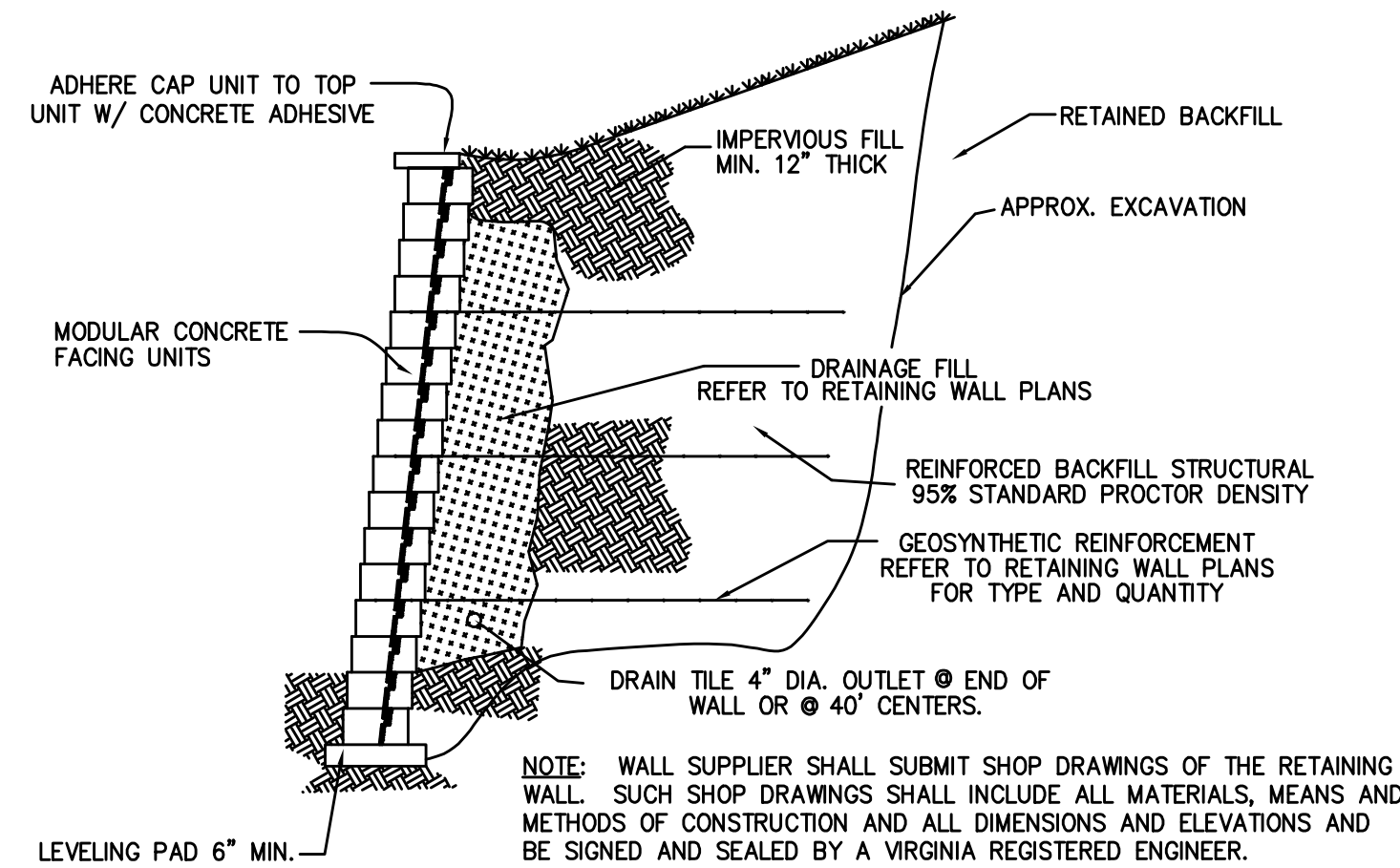
NOTES:

1. COMMUNICATIONS CONDUIT LOCATIONS SHOWN ON THIS PLAN ARE SCHEMATIC ONLY AND ARE SUBJECT TO CHANGE. CONTRACTOR SHALL COORDINATE WITH ROANOKE COUNTY FOR SPECIFIC LOCATIONS OF CONDUIT AND JUNCTION BOXES.
2. CONTRACTOR TO INSTALL AND MARK ENDS OF CONDUIT FOR ROANOKE COUNTY IT START TO PULL COMMUNICATIONS LINES.
3. INSTALL PAVEMENT REPLACEMENT IN ACCORDANCE WITH RELATED DETAIL WHERE TRENCH RUNS THROUGH EXISTING PAVEMENT.

## RETAINING WALL NOTES:

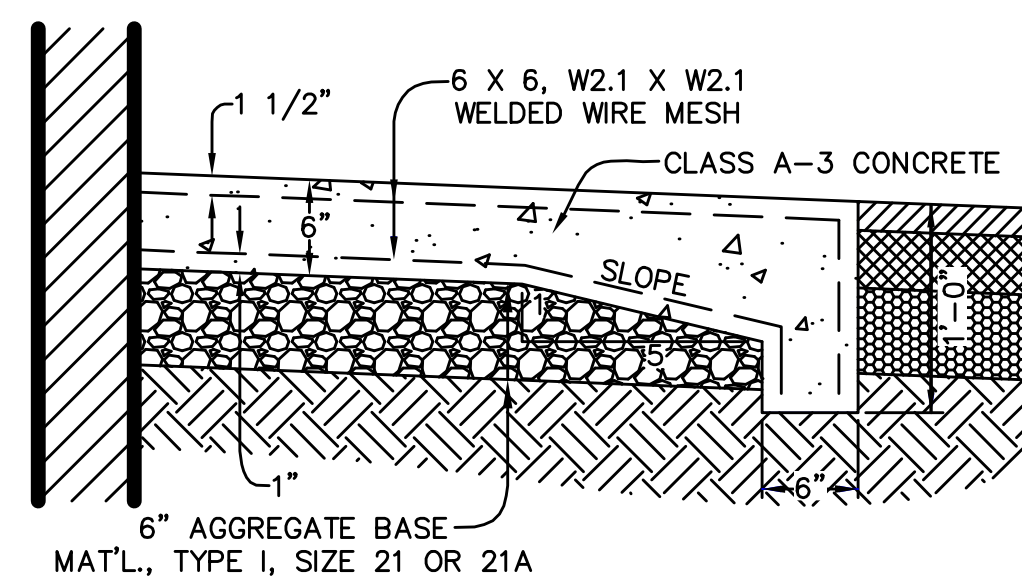
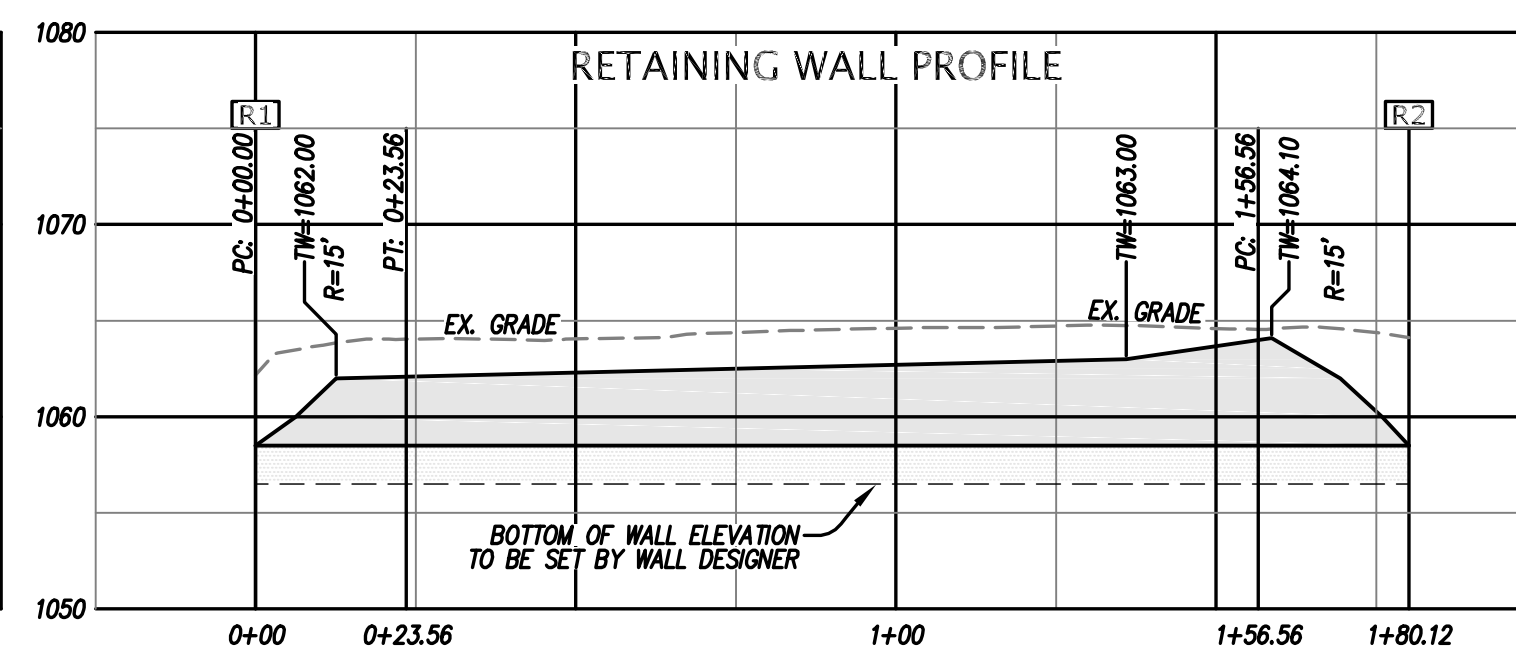
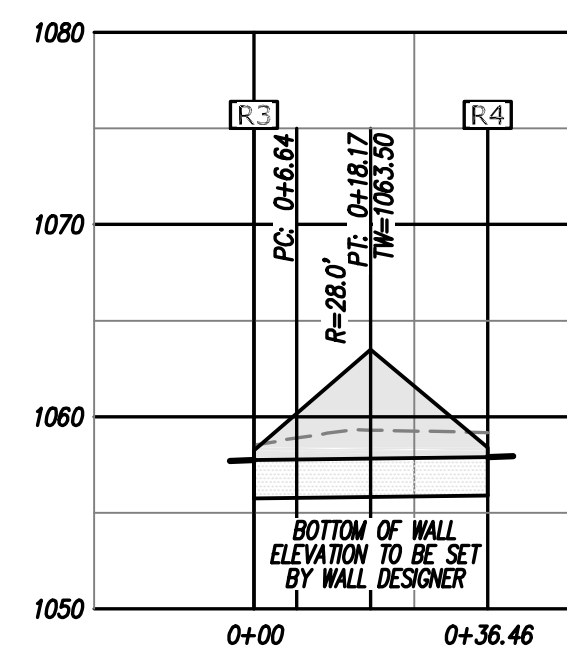
1. WALL DETAILS AND PROFILES SHOWN IN THESE PLANS ARE FOR SCHEMATIC DETAIL ONLY.
2. WALL DESIGNER SHALL PROVIDE TO THE OWNER DESIGN DRAWINGS FOR THE RETAINING WALL. RETAINING WALL DESIGN DRAWINGS SHALL INCLUDE TYPE AND STYLE OF WALLS AND INCLUDE HANDRAIL/GUARDRAIL REQUIREMENTS AND DESIGN. DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA. WALL INFORMATION SHOWN IN THESE PLANS ARE FOR SCHEMATIC DETAIL ONLY. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
3. A QUALIFIED GEOTECHNICAL ENGINEER SHOULD MONITOR THE INSTALLATION OF THE RETAINING WALL AND THE CONSTRUCTION OF THE CUT AND FILL SLOPES TO INSURE ADEQUATE SOIL COMPACTION, TESTING, STABILIZATION, SLOPE STABILITY, AND STRUCTURAL INTEGRITY, ETC. GEOTECHNICAL ENGINEER SHALL BE LICENSED AS A PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA.
4. ALL RETAINING WALLS OVER 2' IN HEIGHT MUST BE APPROVED AND PERMITTED BY ROANOKE COUNTY.
5. ALL RETAINING WALLS 4 FEET OR GREATER IN HEIGHT MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.

NOTE: "TW" TOP OF WALL ELEVATIONS ARE TO FINISHED GRADE ONLY AND DO NOT REFLECT THE TOP OF THE ACTUAL BLOCK COURSE OR WALL TOP CAP. REFER TO WALL PLANS FOR ACTUAL TOP OF WALL ELEVATIONS.

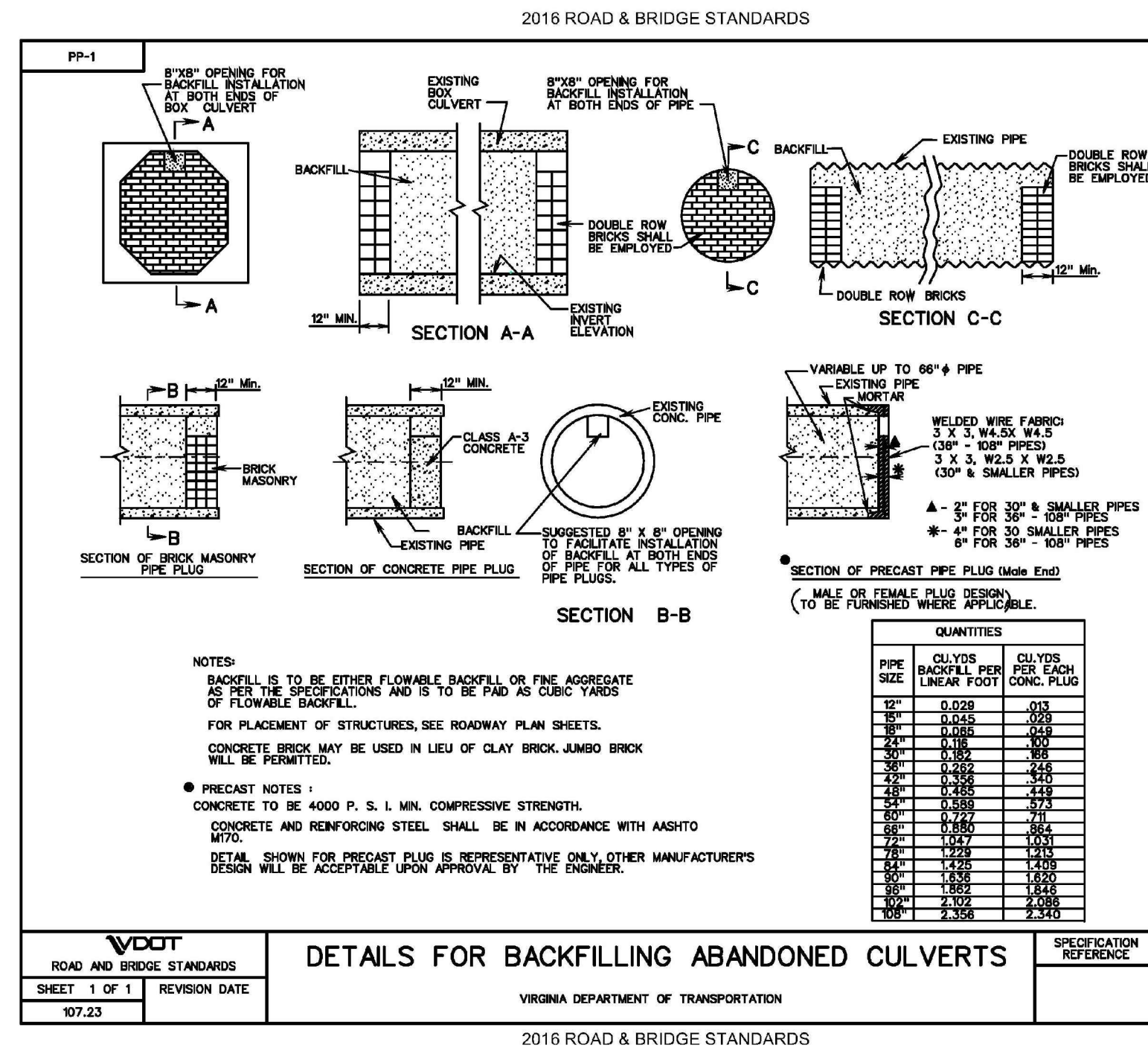
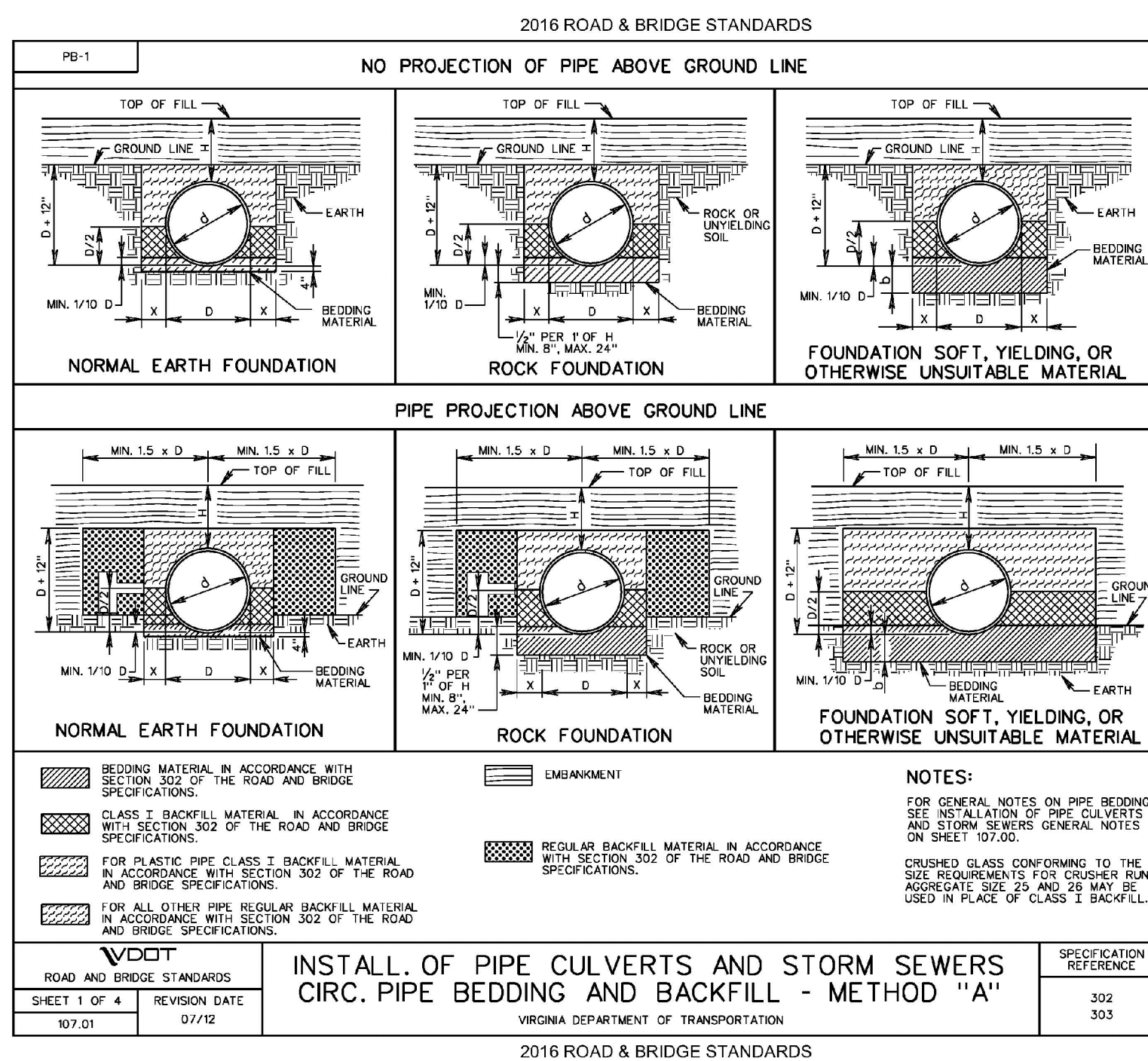


SCHEMATIC WALL SECTION

NOT TO SCALE



CONCRETE APRON DETAIL



## SITE AND ZONING TABULATIONS

TAX MAP ID: 039.05-02-04.00, 039.05-02-02.00-0000, 039.05-02-03.00-0000  
CURRENT ZONING: I-2 WITH SPECIAL USE PERMIT (ORDINANCE No. 04208-18, 100' BROADCAST TOWER)  
OVERLAY DISTRICTS: AIRPORT & PETERS CREEK COMMUNITY PLAN  
EXISTING USE: ROANOKE COUNTY FLEET SERVICES  
SITE ACREAGE: 9.17900 ACRES (DEEDED)  
MINIMUM LOT AREA REQUIRED: 20,000 S.F. (PUBLIC SEWER & WATER)  
MINIMUM FRONTAGE REQUIRED: 100' (PUBLIC SEWER & WATER)  
MINIMUM REQUIRED SETBACKS:  
FRONT: 30', OR 20' WHEN ALL PARKING IS LOCATED BEHIND FRONT BUILDING LINE  
REAR: 15' PRINCIPAL STRUCTURES, 3' ACCESSORY STRUCTURES  
SIDE: 10' PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES 3' AND BEHIND FRONT BUILDING LINE  
MAXIMUM HEIGHT ALLOWED: UNLIMITED (NOT ADJACENT TO RESIDENTIAL USE)  
MAXIMUM BUILDING COVERAGE: 75%  
MAXIMUM LOT COVERAGE: 90%  
PROPOSED BUILDING COVERAGE: 8.96% (0.8228 ACRES)  
PROPOSED LOT COVERAGE: 47.43% (4.3532 ACRES)  
REQUIRED PARKING SPACES: PUBLIC MAINTENANCE AND SERVICE FACILITY - SCHEDULE A FLEET SERVICES PARCEL:  
OFFICE/ADMINISTRATIVE ACTIVITY: 3 SPACES PER 1,000 SF.; 6,128 SF = 19 SPACES  
MOTOR VEHICLE SERVICE BAYS: 2 SPACES PER SERVICE BAY; 19 BAYS = 38 SPACES  
GENERAL EQUIPMENT SERVICING: 1 SPACE PER 1,000 SF.; 3,087 SF = 10 SPACES  
STORAGE OR WAREHOUSING: 1 SPACE PER 5,000 SF.; 1,181 SF = 1 SPACE  
TOTAL REQUIRED SPACES: 68  
'COLD STORAGE' PARCEL:  
OFFICE/ADMINISTRATIVE ACTIVITY: 3 SPACES PER 1,000 SF.; 680 SF = 2 SPACES  
MOTOR VEHICLE SERVICE BAYS: 2 SPACES PER SERVICE BAY; 4 BAYS = 8 SPACES  
GENERAL EQUIPMENT SERVICING: 1 SPACE PER 1,000 SF.; 3,206 SF = 4 SPACES  
STORAGE OR WAREHOUSING: 1 SPACE PER 5,000 SF.; 10,728 SF = 3 SPACES  
TOTAL REQUIRED SPACES: 17  
SITE TOTAL PARKING REQUIRED: 85 SPACES  
SITE TOTAL PARKING PROVIDED: 200 SPACES, INCLUDING 7 ACCESSIBLE SPACES  
(NOTE: 40 SPACES ARE FLEET PARKING AND NOT APPLICABLE FOR ACCESSIBLE SPACE CALCULATION)

## GENERAL NOTES

1. OWNER/DEVELOPER: ROANOKE COUNTY BOARD OF SUPERVISORS, BOX 29800 ROANOKE, VA 24018
2. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
3. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2019. NO CURRENT TITLE REPORT HAS BEEN FURNISHED FOR THE SUBJECT PROPERTIES.
4. A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN THE LIMITS OF FLOOD HAZARD AREA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP #51161C01586, DATED SEPTEMBER 28, 2007.
5. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
6. THE LIMIT OF DISTURBANCE DELINEATIONS SHOWN HEREON INDICATE THE LARGEST POTENTIAL DISTURBANCE IN THE EVENT THAT ADD-ALTERNATE WORK IS INCLUDED. AREAS WITHIN THE LIMITS OF DISTURBANCE MAY REMAIN UNALTERED IF ONLY BASE BID IMPROVEMENTS OCCUR.
7. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5 x 11 IF THE INFORMATION IS LEGIBLE AND WITHIN THE LIMITS OF THE APPROVED PLANS.
8. ANY TOPOGRAPHIC CHANGES FROM THE APPROVED PLANS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS AS DEEMED NECESSARY BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ROANOKE COUNTY.
9. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHTS OF WAY. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHTS OF WAY SHALL NOT EXCEED 0.5 FOOT CANDLES.
10. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET. GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK.
11. A SIGN PERMIT MUST BE OBTAINED FROM THE COUNTY OF ROANOKE PER ROANOKE COUNTY ZONING ORDINANCE SECTION 30-93 PRIOR TO INSTALLATION OF ANY EXTERIOR SIGNAGE.

## CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
5. SEE VDOT ROAD AND BRIDGE STANDARDS FOR STORM DRAIN DETAILS.
6. THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
7. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT SITE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001.
8. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT ANY EXISTING STORM SEWER SYSTEM IN THE EVENT THEY BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE PROPOSED DEVELOPMENT.
9. SAFE ACCESS TO ALL EXISTING ENTRANCES SHALL BE MAINTAINED AT ALL TIMES. WHEN WORK IS NOT BEING PERFORMED, THE CLEAR ZONE OF THE ROADWAY SHALL BE FREE OF STORED MATERIALS AND PARKED EQUIPMENT.

## GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT AND ROCKS LARGER THAN 6 INCHES IN DIAMETER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
5. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

## WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WVWA DESIGN AND CONSTRUCTION STANDARDS.
2. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SHANK AT 537-3460.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18' CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES WHERE THIS CANNOT BE ACHIEVED ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED.
5. ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.

**Lumsden Associates, P.C.**  
ENGINEERS | SURVEYORS | PLANNERS



4664 BRAMBLETON AVENUE  
P.O. BOX 20669  
ROANOKE, VIRGINIA 24018

COMMONWEALTH OF VIRGINIA  
ANDREW P. LUMSDEN  
Lic. No. 052216  
6/22/20  
PROFESSIONAL ENGINEER

ROANOKE COUNTY  
FLEET SERVICE CENTER EXPANSION  
PREPARED FOR  
ROANOKE COUNTY  
BOARD OF SUPERVISORS  
SITUATED ALONG HOLLINS ROAD  
ROANOKE COUNTY, VIRGINIA

| REVISIONS |   | DESCRIPTION | DATE    | BY | SET |
|-----------|---|-------------|---------|----|-----|
| NO.       | 1 | DATE        | 6/22/20 | BD | SET |
| NO.       | 2 |             |         |    |     |
| NO.       | 3 |             |         |    |     |
| NO.       | 4 |             |         |    |     |
| NO.       | 5 |             |         |    |     |

DATE: April 20, 2020  
SCALE: NO SCALE  
COMMISSION NO: 19-035H  
SHEET C-101