

SITE INFORMATION:

OWNER/DEVELOPER: JAMES T. MCCLUNG
6027 PETERS CREEK ROAD
ROANOKE, VIRGINIA 24019

TAX MAP NUMBER: 027.17-04-02.00-0000

ZONING: C1, OFFICE DISTRICT

USE: MEDICAL OFFICE

TOTAL BUILDINGS: 2
TOTAL BUILDING AREA: 7,680 SQ. FT.

MINIMUM LOT AREA: 15,000 SQ. FT.; PUBLIC WATER & SEW

MINIMUM LOT FRONTAGE: 75 FEET

SETBACKS:
FRONT - 30 FT, OR 20 FEET WHEN ALL PARKING IS BEHIND FRONT BUILDING
SIDE - 10 FT ON ANY ONE SIDE WITH A COME REAR - 15 FT

MAXIMUM HEIGHT OF BUILDING ALLOWED: UNLIMITED
ACTUAL BUILDING HEIGHT: APPROX. 24'

MAXIMUM LOT COVERAGE PERCENTAGE: 80%
ACTUAL LOT 1 COVERAGE PERCENTAGE: APPROX. 65%
ACTUAL LOT 2 COVERAGE PERCENTAGE: APPROX. 40%

MAXIMUM BUILDING COVERAGE PERCENTAGE: 50%
ACTUAL LOT 1 BUILDING COVERAGE PERCENTAGE: 18%
ACTUAL LOT 2 BUILDING COVERAGE PERCENTAGE: 9%

PARKING SPACES REQUIRED: 1 SPACE PER 200 SQ. FT. =

PARKING SPACES PROVIDED: 42 STANDARD SPACES & 3 T

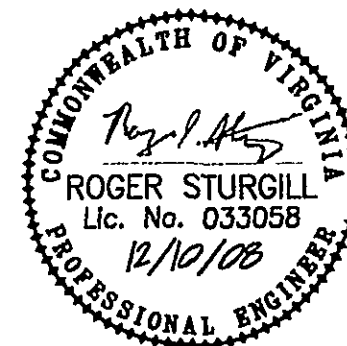
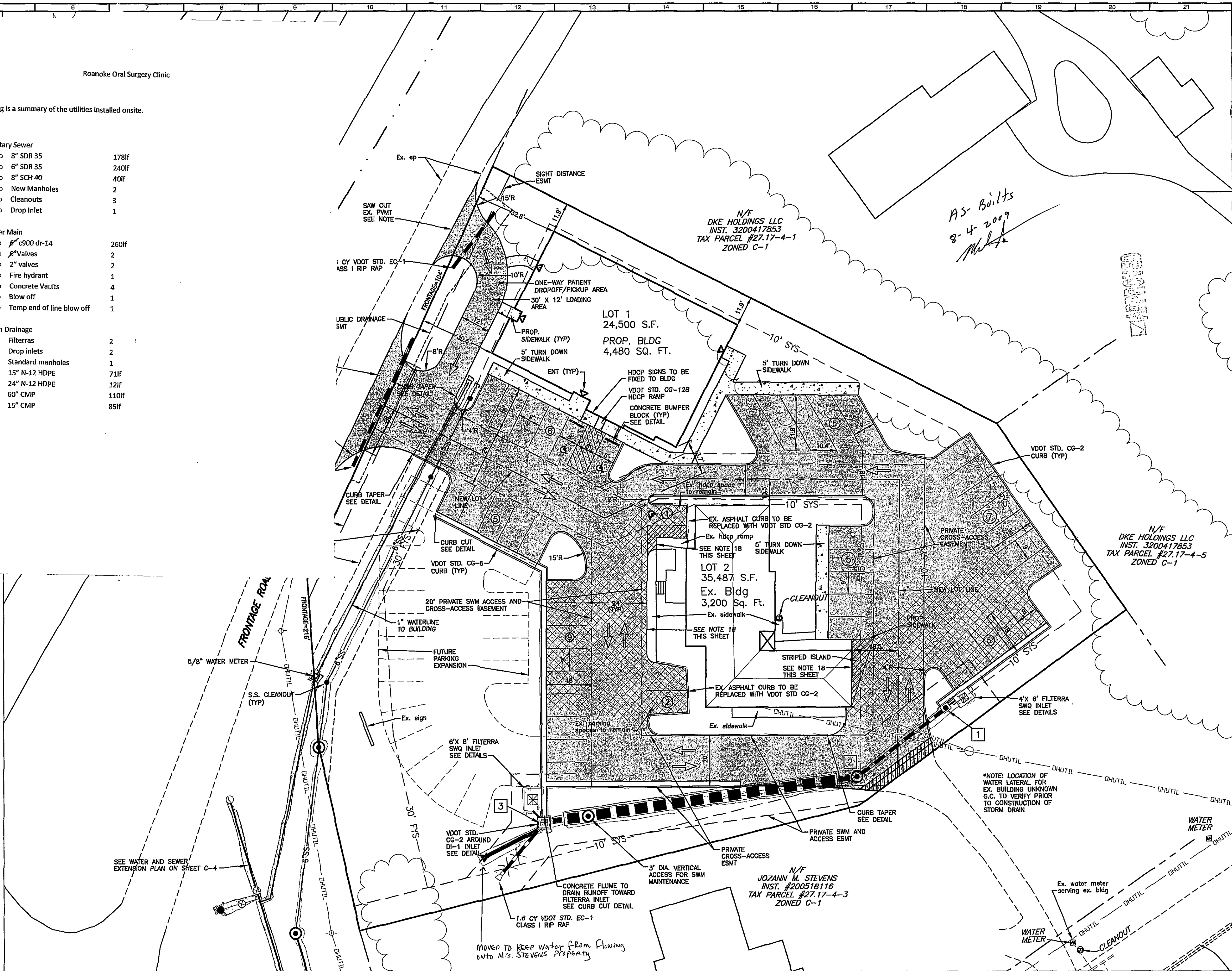
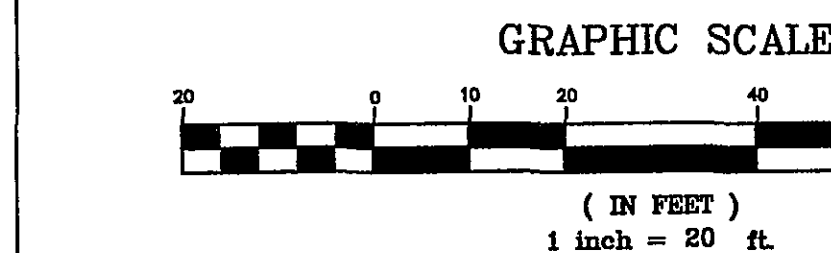
MINIMUM CROWN COVERAGE PERCENTAGE: 35%
ACTUAL LOT 1 CROWN COVERAGE PERCENTAGE: 40% (SEI)
ACTUAL LOT 2 CROWN COVERAGE PERCENTAGE: 35% (SEI)

SITE NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPRO CONSULTING ENGINEER, ROANOKE COUNTY, & VDOT.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
3. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW S STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CA IF THE INFORMATION IS LEGIBLE.
4. ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, L ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. A PHOTOMETRIC PLAN MAY BE REQUIRED.
5. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
6. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO DISTURBANCE.
7. ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE AND DRAIN AWAY FROM THE PROPOSED BUILDING.
8. A SIGN PERMIT SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY NEW SIGNAGE ON-SITE. ALL SIGNAGE SHALL COMPLY WITH SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.
9. SAW CUT AND TACK COAT THE VERTICAL SURFACES WHERE THE NEW ENTRANCE PAVEMENT ADJUTS THE EXISTING MAINLINE PAVEMENT ALONG THE FRONTAGE ROAD FOR ROUTE 117. NO CONVEYANCE OF RUNOFF WILL BE PERMITTED ALONG A SEAM IN THE PAVEMENT.
10. COORDINATE ALL UTILITY CONNECTIONS WITH ARCHITECTURAL PLANS.
11. G.C. TO FURNISH AND INSTALL TAPPING SLEEVE AND VALVE FOR WATERLINE CONNECTION, TAP TO BE MADE BY WYMA. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND SHORING PER OSHA REGULATIONS.
12. G.C. TO MAKE SANITARY SEWER TAP TO EXISTING MANHOLE. MANHOLE CONNECTION TO BE CORED WITH A BOOT INSTALLED.
13. ALL CURVE RADII ARE 5' UNLESS OTHERWISE SHOWN.
14. A 10' LANDSCAPE BUFFER IS REQUIRED IN ALL AREAS ADJACENT TO A PUBLIC RIGHT-OF-WAY AND THE NEW PARKING AREAS PER SECTION 30-92-6(B) OF THE ROANOKE COUNTY ZONING ORDINANCE.
15. ANY DAMAGE TO THE EXISTING PAVEMENT ON BURLINGTON DRIVE OR THE FRONTAGE ROAD AS A RESULT OF CONSTRUCTION TRAFFIC SHALL BE REPAIRED.
16. THE PROPERTY IS TO BE SUBDIVIDED PER THE DIVISION LINE SHOWN ON THIS SHEET.
17. ACCESS TO EXISTING PARCELS ON THE FRONTAGE ROAD AND ON BURLINGTON DRIVE TO BE MAINTAINED AT ALL TIMES.
18. EXISTING PAVEMENT TO BE MILLED DOWN PRIOR TO OVERLAY IN AREAS ADJACENT TO EXISTING SIDEWALK, HANDICAP RAMP, BUILDING OR ANY OTHER CRITICAL AREAS. PAVEMENT SHALL BE MILLED DOWN TO THE EXTENT NECESSARY TO PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING BUILDING AND ACROSS PAVEMENT.
19. G.C. TO COORDINATE CONSTRUCTION SCHEDULE WITH OWNER PRIOR TO COMMENCEMENT OF WORK. ACCESS AND PARKING FOR EXISTING BUILDING MUST BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE.

The following is a summary of the utilities installed onsite.

Sanitary Sewer		
8" SDR 35	178lf	
6" SDR 35	240lf	
8" SCH 40	40lf	
New Manholes	2	
Cleanouts	3	
Drop Inlet	1	
Water Main		
8" c900 dr-14	260lf	
8" Valves	2	
2" valves	2	
Fire hydrant	1	
Concrete Vaults	4	
Blow off	1	
Temp end of line blow off	1	
Storm Drainage		
Filterras	2	
Drop inlets	2	
Standard manholes	1	
15" N-12 HDPE	71lf	
24" N-12 HDPE	12lf	
60" CMP	110lf	
15" CMP	85lf	



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ENGINEERS • SURVEYORS

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1881 Commerce Road
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Verona, Virginia 24462
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FAX: 540/648-3221

ROANOKE ORAL SURGERY

LAYOUT & UTILITY PLAN

HOLLINS DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY: CPB
DESIGNED BY: CPB
CHECKED BY: SMH
DATE: 10-14-2008

REVISIONS:
11-19-2008
12-10-2008

SCALE: 1"=20'

SHEET NO.

C-3

JOB NO.
R0800339.00