

GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- CLEARING AND GRUBBING.
- SUBGRADE EXCAVATION.

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN EROSION AND SILTATION CONTROL POLICIES.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE INSPECTORS.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEY BY CWA AND BY AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS FOR LOCATION AND DEPTH PRIOR TO COMMENCING CONSTRUCTION.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

THE CONTRACTOR IS REQUIRED TO INFORM THE CITY OF ROANOKE ENGINEERING DEPARTMENT OF THE LOCATION(S) OF OFF-SITE BORROW OR WASTE AREAS. A SOIL EROSION CONTROL PERMIT MAY BE REQUIRED FOR THESE OFF-SITE AREAS.

ANY DEMOLITION OF EXISTING IMPROVEMENTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CITY OF ROANOKE REQUIREMENTS AND CODES.

ALL MATERIAL HAULING AND DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS PERTAINING THERETO.

ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR.

REZONING CONDITIONS

THE SUBJECT PROPERTY WAS REZONED BY ORDINANCE No. 35030-090500, TO C-2, GENERAL COMMERCIAL DISTRICT, SUBJECT TO CERTAIN PROFFERED CONDITIONS. THE ORDINANCE WAS ADOPTED BY THE COUNCIL OF THE CITY OF ROANOKE ON A SECOND READING, DATED SEPTEMBER 5, 2000. LISTED BELOW ARE THE PROFFERED CONDITIONS:

- THAT THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE SITE PLAN PREPARED BY CALDWELL WHITE ASSOCIATES, ROANOKE, VIRGINIA, DATED MAY 31, 2000, A COPY OF WHICH IS ATTACHED TO THE ORDINANCE AND SUBJECT TO ANY CHANGES REQUIRED BY CITY DURING SITE PLAN REVIEW.
- THAT THE PROPERTY SHALL BE USED ONLY FOR THE PURPOSE OF SELLING ANDSERVICING MOTORCYCLES.
- THAT ALL LIGHTING ON THE PROPERTY WILL BE DIRECTED TOWARD THE PROPERTY AND WILL NOT BE DIRECTED TOWARD ADJOINING RESIDENTIAL AREAS.
- THAT ALL REPAIR WORK ON THE MOTORCYCLES WILL BE PERFORMED INSIDE THE BUILDING.
- THAT THE HEIGHT OF THE BUILDING SHALL BE NO HIGHER THAN THE HIGHEST POINT OF THE EXISTING HARLEY-DAVIDSON BUILDING.
- THAT THERE SHALL BE NO OUTSIDE STORAGE OF EQUIPMENT OR ACCESSORY PARTS.
- THERE WILL BE NO VEHICULAR ACCESS FROM THE PROPERTIES ONTO KAY AVENUE OR TELlico ROAD, NW.
- A SUBDIVISION PLAT SHALL BE PREPARED, COMBINING TAX PARCELS NUMBERS 6380101, 6380102, 6380104 AND 6370306, AND SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL, AND RECORDED WITH THE CLERK OF CIRCUIT COURT OF THE CITY OF ROANOKE, WITHIN SIX (6) MONTHS OF THE DATE OF THE ADOPTION OF AN ORDINANCE EFFECTING THE REZONING AND AMENDMENTS AS REQUESTED IN THIS PETITION.

ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF BOUNDARY AND TOPOGRAPHIC MAPPING IS CALDWELL WHITE ASSOCIATES, DATED AUGUST 29, 2000 AND CITY OF ROANOKE AERIAL MAPPING.

THE SUBJECT PROPERTY LIES IN ZONE 'X' OF THE FEMA FLOOD INSURANCE RATE MAP 51161C0023-D, EFFECTIVE DATE OCTOBER 15, 1993 AND HAS BEEN VERIFIED BY FIELD ELEVATIONS.

SEWER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

BUILDING CONNECTIONS ARE TO BE MADE WITH A MINIMUM 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE PUBLIC RIGHT OF WAYS.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

WATER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY OF ROANOKE DEPARTMENT OF ZONING AND DEVELOPMENT (540) 853-2344 or 853-1325 AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED EGRESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY OF ROANOKE SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

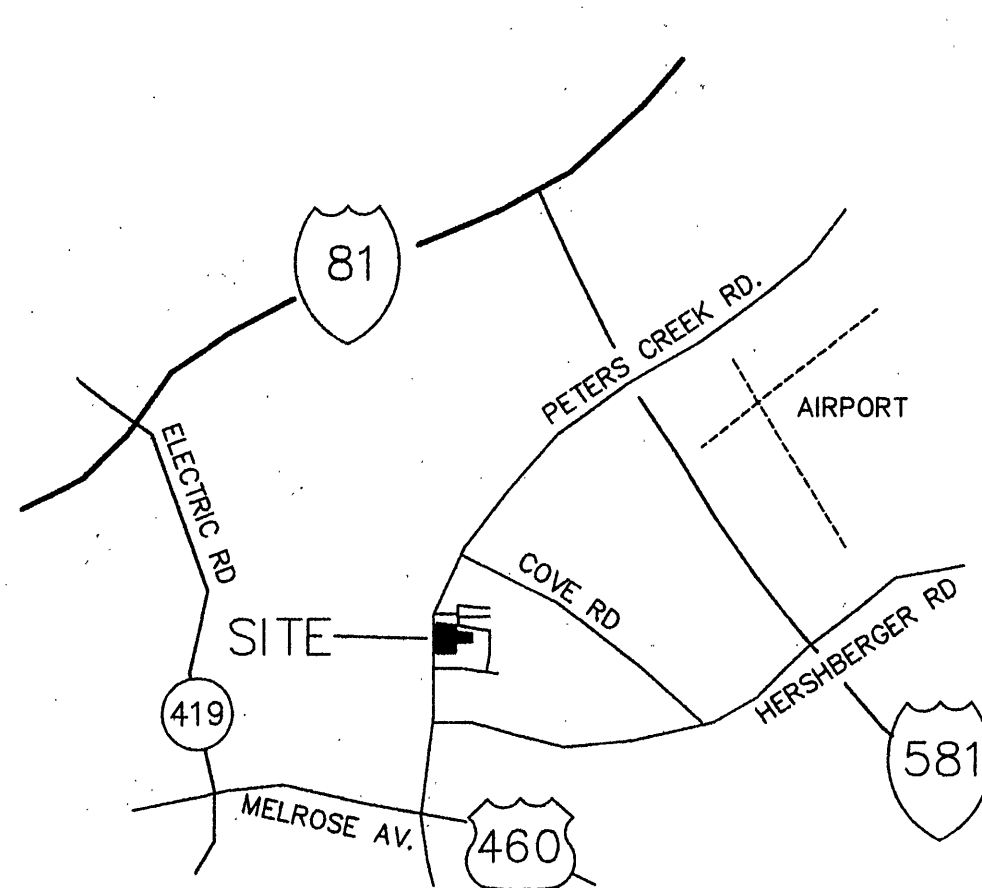
APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS ON CONSTRUCTION BEING MADE.

NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

VICINITY MAP

NO SCALE



Designed By: J.V.J.	REVISIONS		
	No.	Date	Remarks
Drawn By: J.V.J.	1	12/26/00	PER CITS FIRST REVIEW LETTER-12/11/00
Date: Nov. 17, 2000			
W.O. # 00-0044			
N.B. # WES #7			

SHEET INDEX

SHEET #	TITLE
1	TITLE SHEET
2	DEMOLITION PLAN
3	DIMENSIONAL PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	EROSION CONTROL PLAN
7	DETAIL SHEET

ANY VARIATION FROM APPROVED PLANS MUST BE APPROVED BY THE CITY OF ROANOKE

ABBREVIATIONS		LEGEND		SYMBOLS	
		EXISTING	NEW		
ANFH	ARROW HEAD TOP OF FIRE HYDRANT	100.5	FG 100.50	SPOT ELEVATION	
APPROX	APPROXIMATE	100.5	100	CONTOURS	
ASPH	ASPHALT	8"SS	8"SS	SANITARY SEWER LINE	
BC	BOTTOM OF CURB	4"W	4"W	WATERLINE	
BIT	BITUMINOUS	8"SD	8"SD	STORM DRAIN	
BLOC	BLOCK	2"G	2"G	GAS LINE	
BM	BENCHMARK	R/W	R/W	RIGHT OF WAY	
BW	BOTTOM OF WALL	REQD	REQD	REQUIRED	
CB	CORNER BLOCK	RY	RY	RAILROAD	
C&G	CURB & GUTTER	RYS	RYS	REAR YARD SETBACK	
CMP	CORRUGATED METAL PIPE	SAN	SAN	SANITARY	
CONC	CONCRETE	SBL	SBL	SOUTH BOUND LANE	
COR	CORNER	SD	SD	STORM DRAIN	
DBL	DOUBLE	SECT	SECT	SECTION	
DEFL	DEFLECTION	SE	SE	SLOPE EASEMENT	
DI	DROP INLET	SS	SS	SANITARY SEWER	
DIA	DIAMETER	SSE	SSE	SANITARY SEWER EASEMENT	
DE	DRAINAGE EASEMENT	STA	STA	STATION	
ELEC	ELECTRIC	STD	STD	STANDARD	
ELEV	ELEVATION	STO	STO	STORAGE	
ENTR	ENTRANCE	SYS	SYS	SIDE YARD SETBACK	
EP	EDGE OF PAVEMENT	TBM	TBM	TEMPORARY BENCHMARK	
EW	ENDWALL	TC	TC	TOP OF CURB	
EXIST	EXISTING	TEL	TEL	TELEPHONE	
FDN	FOUNDATION	TRANS	TRANS	TRANSFORMER	
FF	FINISHED FLOOR	TW	TW	TOP OF WALL	
FG	FINISH GRADE	TYP	TYP	TYPICAL	
HPT	HIGH POINT	VDOT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION	
INV	INVERT	VERT	VERT	VERTICAL	
IP	IRON PIN	WBL	WBL	WEST BOUND LANE	
LT	LEFT	YD	YD	YARD	
MBL	MINIMUM BUILDING LINE				
MH	MANHOLE				

Name of Site Plan

ROANOKE VALLEY HARLEY-DAVIDSON, LTD.

Location

EXPANSION OF EXISTING BUILDING
1925 PETERS CREEK ROAD, NW
CITY OF ROANOKE, VIRGINIA

Owner

LOYD D. & KATHY L. SHIFFER
1925 PETERS CREEK ROAD
ROANOKE, VIRGINIA 24017
ATTN: Mr. Loyd Shiffer

Contractor

Subject to Bid

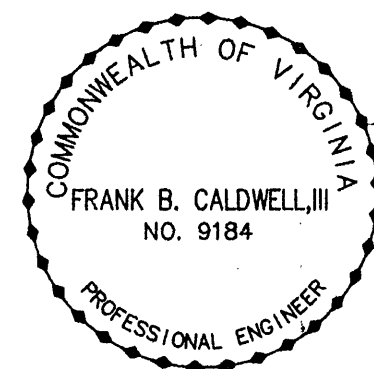
DEVELOPMENT PLAN APPROVED

Agent, Planning Commission	Date
Development Engineer	
Zoning Administrator	

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

City of Roanoke Tax Parcels

6380102, 03 & 06



CWA
CALDWELL WHITE ASSOCIATES
ENGINEERS / SURVEYORS / PLANNERS
1054 OLD COUNTRY CLUB ROAD
P.O. BOX 8340
ROANOKE, VIRGINIA 24017
(540) 342-7094
FAX: (540) 981-0699