

**KNOW ALL MEN BY THESE PRESENT, TO WIT:**

THAT ROSEWALK HOMEOWNERS ASSOCIATION IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON, TO BE SUBDIVIDED, BOUNDED BY THE OUTSIDE CORNERS 1 THRU 5 TO 1, INCLUSIVE, WHICH COMPRISES A PORTION OF THE TRACT OF LAND CONVEYED TO SAID OWNER FROM JONES & DALTON CONSTRUCTION, L.L.C. BY DEED DATED OCTOBER 10, 1995 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VIRGINIA, IN DEED BOOK 1754, PAGE 1684.

THE SAID OWNERS CERTIFIES THAT THEY HAVE SUBDIVIDED THIS LAND AS SHOWN HEREON, ENTIRELY WITH THEIR OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE VIRGINIA CODE OF 1950, AS SECTIONS 15.2-2240 THROUGH 15.2-2279 (AS AMENDED TO DATE) AND FURTHER PURSUANT TO AND IN COMPLIANCE WITH THE CITY OF ROANOKE SUBDIVISION ORDINANCES.

THE SAID OWNER, BY VIRTUE OF THE RECORDATION OF THIS PLAT, GRANTS TO THE CITY OF ROANOKE, VIRGINIA A 15' DRAINAGE EASEMENT FOR PUBLIC USE.

IN WITNESS THEREOF ARE HEREBY PLACED THE FOLLOWING SIGNATURE AND SEAL ON THIS 23rd DAY OF May, 2005.

**ROSEWALK HOMEOWNERS ASSOCIATION**

BY: Ronald A. Fisher

Ronald A. Fisher, PRESIDENT

STATE OF VIRGINIA City of Roanoke

I, Wanda Doolittle, A NOTARY PUBLIC IN AND FOR THE AFORESAID City of Roanoke AND STATE DO HEREBY CERTIFY THAT Ronald A. Fisher, PRESIDENT OF ROSEWALK HOMEOWNERS ASSOCIATION HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID May 23, 2005 AND STATE AND ACKNOWLEDGED THE SAME ON 23 May, 2005.

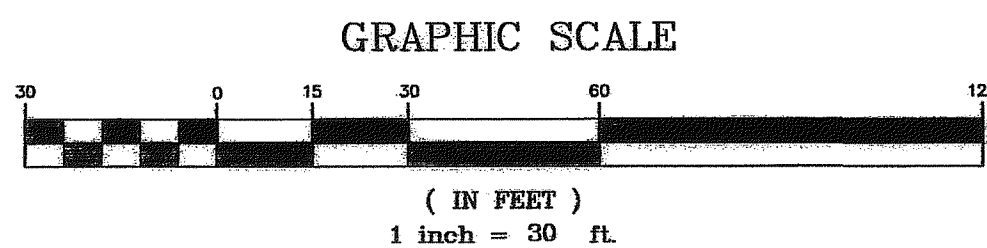
MY COMMISSION EXPIRES ON 31 March 08

Yvonne Doolittle  
NOTARY PUBLIC

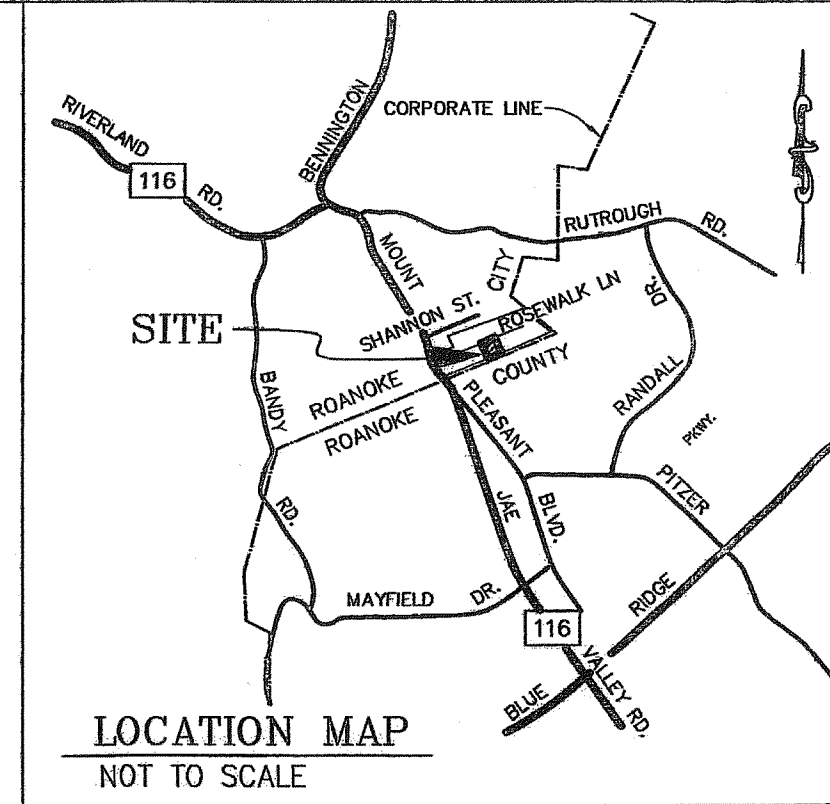
TAX #4460164  
LOT 26  
PROPERTY OF  
VIRGIL D. BRUNEKOOL  
INSTRUMENT #980003826

**NOTES:**

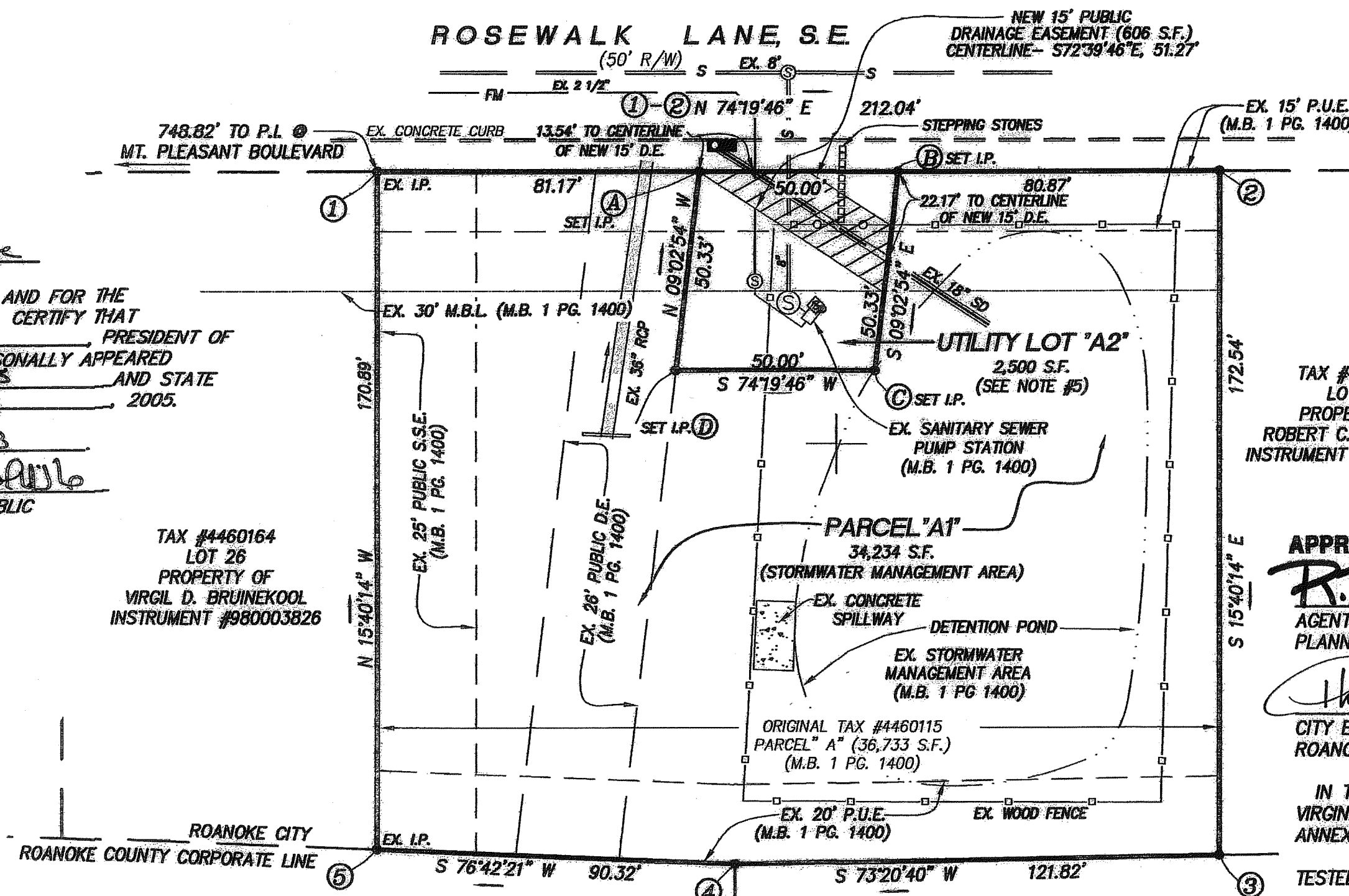
1. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
2. IRON PINS SET AT ALL CORNERS, PC'S AND PT'S UNLESS OTHERWISE NOTED.
3. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. SEE COMMUNITY PANEL #51161C0048D. ZONE "X", DATED OCTOBER 15, 1993.
4. THIS PLAT REPRESENTS A SUBDIVISION OF ORIGINAL TAX PARCEL #4460115.
5. UTILITY LOT "A2" BOUNDED BY CORNERS A THROUGH D TO A IS UNINHABITABLE FOR RESIDENTIAL OCCUPANCY.
6. ALL EASEMENTS SHOWN HEREON ARE PUBLIC.
7. THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LAND SHOWN HEREON THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY DEED AND SAID DEED MUST BE RECORDED IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF THE CITY OF ROANOKE.



BOUNDARY COORDINATES		
ORIGIN OF COORDINATES ARE ASSUMED		
CORNER	NORTHING	EASTING
1	2168.85734	1675.99474
2	2226.13171	1880.15752
3	2060.00491	1928.76155
4	2025.08917	1810.05250
5	2004.32003	1722.15287
1	2168.85734	1675.99474
TOTAL AREA = 36,734 S.F.		



LEGEND	
FM	FORCE MAIN
P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
S	SANITARY SEWER EASEMENT
M.B.L.	MINIMUM BUILDING LINE
R/W	RIGHT OF WAY
S.F.	SQUARE FOOTAGE
EX.	EXISTING
S.I.P.	SANITARY SEWER MANHOLE
IP	IRON PIN
SM	GAS METER
EM	ELECTRIC METER



TAX #4460163  
LOT 25  
PROPERTY OF  
ROBERT C. LIPSCOMBE  
INSTRUMENT #0000003948

APPROVED  
R. Brian Townsend S-26-05  
AGENT, ROANOKE CITY PLANNING COMMISSION DATE

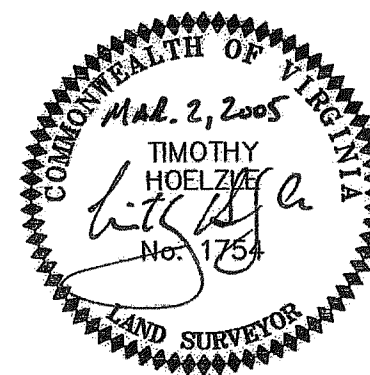
Thrup C. Schum S-25-05  
CITY ENGINEER ROANOKE, VIRGINIA DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VIRGINIA, THIS MAP WITH THE CERTIFICATE OF ACKNOWLEDGEMENT THERETO ANNEXED IS ADMITTED TO RECORD ON May 31, 2005 AT 2:30 O'CLOCK P. M.

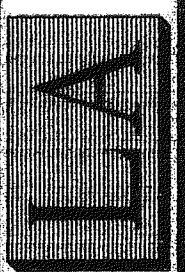
TESTEE: BRENDA S. HAMILTON

Debra Briner  
DEPUTY CLERK

PLAT OF SURVEY SHOWING  
RESUBDIVISION OF  
PARCEL "A", (36,733 S.F.) "ROSEWALK"  
(M.B. 1 PG. 1400)  
CREATING HEREON  
**PARCEL "A1" (34,234 S.F.)**  
AND  
**UTILITY LOT "A2" (2,500 S.F.)**  
PROPERTY OF  
**ROSEWALK HOMEOWNERS ASSOCIATION**  
(DEED BOOK 1754 PAGE 1684)  
SITUATED ALONG ROSEWALK LANE, S.E.  
ROANOKE, VIRGINIA



LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA



DATE: MARCH 2, 2005  
COMM. NO.: 04-158  
CADD FILE: F:\2004\04158\1\SURVMT PLEASANT.DWG  
SHEET 1 OF 1