

STANDARD VIRGINIA DEPARTMENT OF TRANSPORTATION NOTES

QUALITY CONTROL

STREETS SHALL BE GRADED AND PAVED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION'S ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS. ALL STRUCTURAL COMPONENTS ERRECTED WITHIN A PROPOSED VDOT RIGHT OF WAY SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION'S ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS. ALL MATERIALS USED WITHIN A PROPOSED VDOT RIGHT OF WAY SHALL BE TESTED IN ACCORDANCE WITH STANDARD POLICIES. THE DEVELOPER MUST CONTACT THE OFFICE OF THE RESIDENT ENGINEER, PRIOR TO BEGINNING ANY CONSTRUCTION TO OBTAIN THE INSPECTION AND TESTING PROCEDURES. THE DEVELOPER SHALL PROVIDE TEST REPORTS, AT THE DEVELOPER'S EXPENSE, FROM INDEPENDENT LABORATORIES. THE RESIDENT ENGINEER MUST APPROVE ALL INDEPENDENT LABORATORIES.

THE PAVEMENT DESIGNS SHOWN ARE BASED ON A SUB-GRADE CBR VALUE OF 10 OR GREATER. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE CBR VALUES BE LESS THAN 10, THE PAVEMENT DESIGN SHALL BE REVISED AND APPROVED BY THE RESIDENT ENGINEER PRIOR TO PROCEEDING WITH ANY PAVING OPERATION.

THE SUB-GRADE MUST BE APPROVED BY THE RESIDENT ENGINEER PRIOR TO PLACEMENT OF THE BASE. EACH LAYER OF THE PAVEMENT SHALL BE APPROVED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION FOR DEPTH, TEMPLATE AND COMPACTION BEFORE THE NEXT LAYER OF PAVEMENT IS APPLIED.

UTILITIES

ALL NECESSARY UTILITY LATERALS ALONG WITH PROVISIONS FOR CONDUIT (i.e. WATER, SEWER, STORM, GAS AND TELEPHONE) SHALL BE CONSTRUCTED PRIOR TO PLACEMENT OF THE BASE MATERIAL.

GAS OR PETROLEUM TRANSMISSION LINES WILL NOT BE PERMITTED WITHIN THE PAVEMENT (BACK OF CURB TO BACK OF CURB) OR THE SHOULDER ELEMENT. SERVICE LATERALS CROSSING THE PAVEMENT, AND PIPE LINES LOCATED OUTSIDE THE PAVEMENT BUT INSIDE THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMITY WITH ASA B 31.8 SPECIFICATIONS AND SAFETY REGULATIONS. DISTRIBUTION LINES WITH PRESSURES LESS THAN 120 psi ARE UNAFFECTED BY THE ABOVE.

PERMITS ARE NOT REQUIRED FOR ANY UTILITIES WITHIN THE PROPOSED STREET RIGHT-OF-WAY PRIOR TO ACCEPTANCE OF THE STREET INTO THE SECONDARY HIGHWAY SYSTEM. HOWEVER, ANY RIGHT, TITLE OR INTEREST GRANTED TO A UTILITY COMPANY FOR PLACEMENT OF UTILITIES (e.g. POWER, TELEPHONE, ETC) IN PROPOSED STREETS MUST BE RELEASED PRIOR TO ACCEPTANCE OF THE STREET IN THE SECONDARY SYSTEM.

PRIVATE ENTRANCES

VDOT STANDARD CG-9D SHALL BE PROVIDED AT ALL ENTRANCES TO PRIVATE LOTS WHERE CURB AND GUTTER IS USED.

DRIVEWAYS CONNECTING TO ROADS WITHOUT CURB AND GUTTER SHALL CONFORM TO THE VDOT STANDARD PE-1.

PERMITS SHALL BE REQUIRED FOR ALL PRIVATE ENTRANCES CONSTRUCTED ON THESE STREET RIGHT-OF-WAY AFTER ACCEPTANCE OF THE STREETS INTO THE SECONDARY HIGHWAY SYSTEM.

ALL PRIVATE ENTRANCES WITHIN THE RIGHT-OF-WAY SHALL NOT EXCEED EIGHT PERCENT (8%) MAXIMUM GRADE.

EROSION CONTROL AND LANDSCAPING

CARE SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION, DUST AND MUD FROM DAMAGING ADJACENT PROPERTY, CLOGGING DITCHES, TRACKING PUBLIC STREETS AND OTHERWISE CREATING A PUBLIC NUISANCE TO SURROUNDING AREAS.

THE ENTIRE CONSTRUCTION AREA INCLUDING DITCHES, CHANNELS, BACK OF CURBS AND/OR PAVEMENT IS TO BE BACKFILLED AND SEEDED AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.

DRAINAGE EASEMENTS SHALL BE DEFINED BY EXCAVATED DITCHES OR CHANNELS FOR THEIR FULL LENGTH TO WELL DEFINED EXISTING NATURAL WATERCOURSES.

THE ROAD WILL BE REVIEWED DURING CONSTRUCTION FOR THE NEED OF PAVED DITCHES. IF EROSION IS ENCOUNTERED IN ANY DRAINAGE EASEMENT, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO SOD, RIP RAP, GROUT, PAVE OR AS DIRECTED BY THE RESIDENT ENGINEER TO CORRECT THE PROBLEM.

ALL VEGETATION AND OVERBURDEN SHALL BE REMOVED FROM SHOULDER TO SHOULDER PRIOR TO CONDITIONING (CUTTING AND/OR PREPARATION) OF THE SUB-GRADE.

INTERSECTION PAVEMENT RADIUS

A MINIMUM PAVEMENT RADIUS OF TWENTY-FIVE FEET (25') IS REQUIRED AT ALL STREET INTERSECTIONS.

CONNECTIONS TO STATE MAINTAINED ROADS

WHILE THESE PLANS HAVE BEEN APPROVED, SUCH APPROVAL DOES NOT EXEMPT CONNECTIONS WITH EXISTING STATE-MAINTAINED ROADS FROM CRITICAL REVIEW DURING THE LIFETIME OF THE PERMIT. FIELD REVISIONS TO THE PERMIT SHALL BE MADE AS NEEDED IN ORDER TO ACCOMMODATE THE PREVAILING CONDITIONS AND TO ACCOMMODATE SAFETY ACCOMPANIMENTS SUCH AS TURNING LANES.

GUARDRAILS

STANDARD GUARDRAIL WITH SAFETY END SECTIONS MAY BE REQUIRED FOR FILLS AS DEMAED NECESSARY BY THE RESIDENT ENGINEER. AFTER COMPLETION OF ROUGH GRADING OPERATIONS, THE OFFICE OF THE RESIDENT ENGINEER SHALL BE NOTIFIED SO THAT A FIELD REVIEW CAN BE MADE OF THE PROPOSED LOCATIONS.

WHERE GUARDRAILS ARE TO BE INSTALLED, THE SHOULDER WIDTH SHALL BE INCREASED IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATION.

STORM DRAINAGE

A FIELD REVIEW SHALL BE MADE DURING CONSTRUCTION TO DETERMINE THE NEEDS AND LIMITS OF PAVED DITCHES AND DITCH STABILIZATION TREATMENTS, AND TO DETERMINE THE NEED AND LIMITS OF ADDITIONAL DRAINAGE EASEMENTS. ALL DRAINAGE EASEMENTS MUST BE CUT AND MADE TO FUNCTION TO A NATURAL WATERCOURSE. ANY EROSION ENCOUNTERED IN AN EASEMENT MUST BE CORRECTED BY WHATEVER MEANS NECESSARY PRIOR TO SUBDIVISION ACCEPTANCE.

DITCH SIDE SLOPES ARE TO BE FOUR TO ONE (4:1) FOR DITCH WIDTHS OF SIX FEET (i.e. TO THE DITCH CENTERLINE) OR GREATER AND THREE TO ONE (3:1) FOR DITCH WIDTHS OF FOUR FEET OR FIVE FEET, UNLESS OTHERWISE SPECIFIED IN THE PLANS.

ENTRANCE PERMIT

THE OWNER SHALL OBTAIN AN ENTRANCE PERMIT TO THE VIRGINIA DEPARTMENTS OF TRANSPORTATION'S RIGHT-OF-WAY FROM THE RESIDENT ENGINEER PRIOR TO ANY ROAD CONSTRUCTION.

INSPECTION

AN INSPECTOR WILL NOT BE FURNISHED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION EXCEPT FOR PERIODIC PROGRESS INSPECTIONS, THE ABOVE MENTIONED FIELD REVIEWS AND CHECKING FOR REQUIRED STONE DEPTHS. THE DEVELOPER WILL BE REQUIRED TO POST A SURETY TO GUARANTEE THE ROAD FREE OF DEFECTS FOR ONE YEAR AFTER ACCEPTANCE BY THE DEPARTMENT OF TRANSPORTATION.

STREET MAINTENANCE

THE STREETS MUST BE PROPERLY MAINTAINED UNTIL ACCEPTANCE. WHEN ALL REQUIREMENTS HAVE BEEN MET FOR ACCEPTANCE, A FINAL INSPECTION WILL BE MADE TO DETERMINE THAT THE STREET HAS BEEN PROPERLY MAINTAINED.

UNDERGROUND UTILITIES

THE CONTRACTOR SHALL VERIFY BY CONTACTING "MISS UTILITY", THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE SITE ENGINEER IMMEDIATELY IF LOCATIONS OR ELEVATIONS ARE DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLAN, CALL "MISS UTILITY".

PARKING REQUIREMENTS

THE LOTS CREATED HEREON SHALL CONFORM TO THE COUNTY OF ROANOKE ZONING ORDINANCE AS SPECIFIED IN SEC. 30-91-9. THIS SECTION STATES THAT FOR EACH SINGLE FAMILY DWELLING, TWO (2) OFF-STREET SPACES SHALL BE PROVIDED.

UTILITY NOTES

REFER TO SHEET C-9 FOR ADDITIONAL
CONSTRUCTION NOTES FOR THE PUBLIC
WATER & SANITARY SEWER LINES.

GENERAL NOTES

All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County and/or the Virginia Department of Transportation.

The contractor or developer is required to notify the Roanoke County Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- Installation of approved erosion control devices
- Clearing and grubbing
- Subgrade excavation
- Installing storm sewers or culverts
- Setting curb and gutter forms
- Placing curb and gutter
- Placing other concrete
- Placing gravel base
- Placing any roadway surface
- Installing water lines
- Installing sanitary sewer lines

A pre-construction conference shall be scheduled with the Roanoke County Engineering Division, to be held at least one (1) day prior to any construction.

Measures to control erosion and siltation must be provided prior to beginning construction. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.

A permit must be obtained from the V.D.O.T. Salem Residency Office, prior to beginning construction in the highway right-of-way.

Plan approval does not guarantee issuance of any permits by V.D.O.T.

An approved set of plans and all permits must be available at the construction site.

Field construction shall honor proposed drainage divides as shown on plans.

All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

All springs shall be capped and piped to the nearest storm sewer or natural watercourse. The pipe shall be 6 inch minimum diameter and conform to V.D.O.T. Standard SB-1.

Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.

Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.

The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.

The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.

Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.

The developer or contractor shall supply the County with correct As-Built plans before final acceptance.

All work shall be subject to inspection by Roanoke County and/or V.D.O.T. inspectors.

Field corrections shall be approved by the Roanoke County Engineering Division prior to such construction.

Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.

Installation of all storm drain pipes and related pipe bedding and trench backfilling must conform to the 2001 VDOT Road & Bridge Standards.

Any new alignments, changes in grades, alternate pipe sizes or manholes will require a new set of plans stamped by the consulting engineer. County of Roanoke engineering division will review plans within one (1) day of submittal. Plan sheets can be 8.5"x11" if the information is legible.

Contractor shall refer to the County of Roanoke Standard Water & Sewer Regulations for construction details and installation methods as required to complete the proposed public facilities as indicated by these drawings.

Maintenance of the constructed roadways and storm drain systems are the responsibility of the developer until such time that the Virginia Department of Transportation accepts the roads into the Secondary Road System and the County of Roanoke releases all sureties on the development for the drainage systems located in public easements.

ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

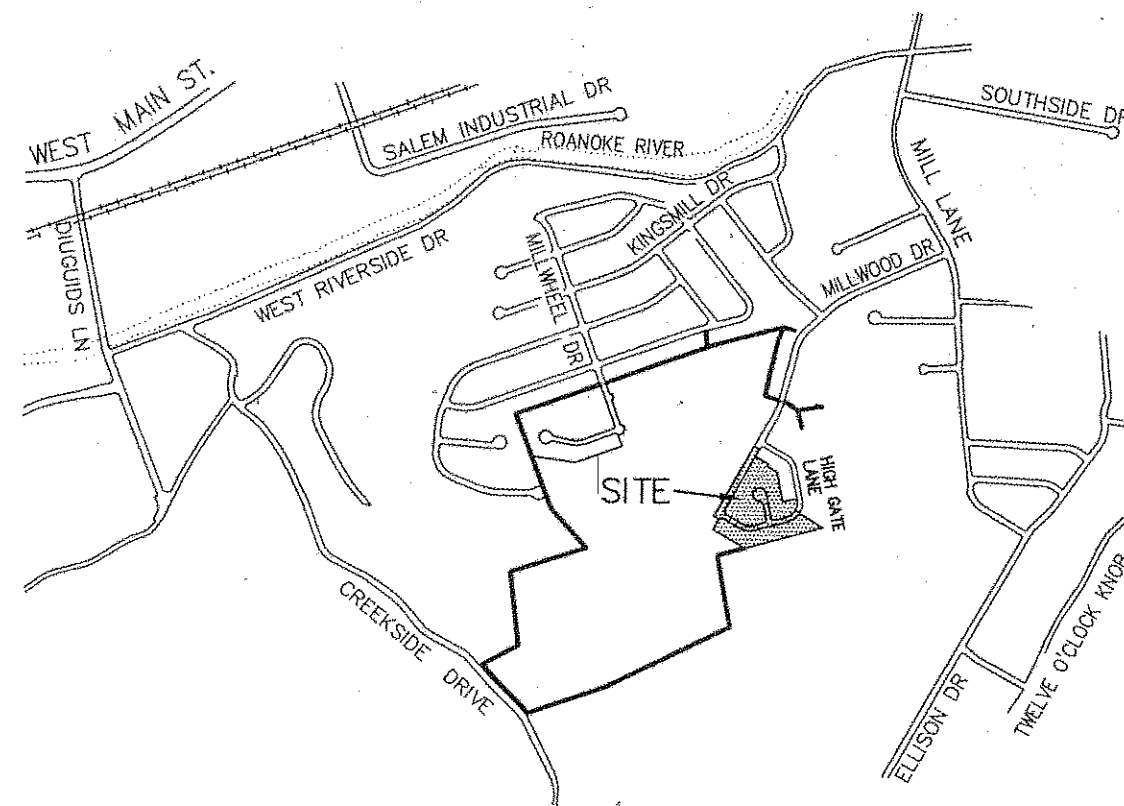
ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF TOPOGRAPHIC MAPPING IS CITY OF SALEM AERIAL MAPPING, DATED APRIL, 1992

BOUNDARY INFORMATION WAS PROVIDED BY MAP ENTITLED "BOUNDARY SURVEY FOR JOAN J. DORSEY, PATRICIA J. STINNETT & RUSSLEN, L.L.C." DATED DEC. 28, 2001 AND RECORDED IN THE CIRCUIT COURT OF ROANOKE COUNTY ON JAN. 11, 2002 IN P.B. 25, Pg. 31.

VICINITY MAP



ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	MIN	MINIMUM MONUMENT
APPROX	APPROXIMATE	NBL	NORTH BOUND LANE
ASPH	ASPHALT	PROP	PROPOSED
BC	BOTTOM OF CURB	PUE	PUBLIC UTILITY EASEMENT
BIT	BITUMINOUS BUILDING	PWMT	PAVEMENT
BLDG	BLOCK	R	RADIUS
BLK	BENCHMARK	RT	RIGHT
BM	BOTTOM OF WALL	R.O.W.	RIGHT OF WAY
BW	ORDER BLOCK	REQD	REQUIRED
CB	CURB & GUTTER	RR	RAILROAD
CKG	CORRUGATED METAL PIPE	RYS	REAR YARD SETBACK
CMP	CONCRETE	SAN	SANITARY
CONC	CORNER	SBL	SOUTH BOUND LANE
COR	DOUBLE DEFLECTION	SD	STORM DRAIN
DBL	DROP INLET	SECT	SECTION
DEFL	DRAINAGE EASEMENT	SE	SLOPE EASEMENT
DI	EAST BOUND LINE	SS	SANITARY SEWER
DIA	ELECTRIC	SSE	SANITARY SEWER EASEMENT
DE	ELEVATION	STA	STATION
DEB	ENTRANCE	STD	STANDARD
ELEC	EDGE OF PAVEMENT	STO	STORAGE
ELEV	EXISTING	SYS	SIDE YARD SETBACK
ENTR	FINISHED FLOOR	TEM	TEMPORARY BENCHMARK
EP	FINISH GRADE	TC	TOP OF CURB
EW	HIGH POINT	TEL	TELEPHONE
EXST	INVERT	TRANS	TRANSFORMER
FDN	IRON PIN	TW	TOP OF WALL
FF	LEFT	TYP	TYPICAL
FG	MANHOLE	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
HPT		VERT	VERTICAL
INV		WEL	WEST BOUND LANE
IP		YD	YARD
LT			
MBL			
MH			

APPROVE "AS-BUILT"
PLANS DATE 7/21/04

LEGEND

EXISTING	NEW	SYMBOLS
100.5 E	FG=100.5	SPOT ELEVATION
--- 100 ---	100	CONTOURS
== 8" ss ==	8" SS	SANITARY SEWER LINE
--- 4" w ---	4" W	WATERLINE
== 8" sd ==	8" SD	STORM DRAIN
--- 2" g ---	2" G	GAS LINE
--- e ---	E	OVERHEAD ELECTRIC LINE
--- t ---	T	OVERHEAD TELEPHONE LINE
--- tv ---	TV	OVERHEAD CABLE TELEVISION LINE
--- ue --- ut ---	UE --- UT	UNDERGROUND TEL OR ELEC LINE
[Symbol]	[Symbol]	WATER OR GAS METER
[Symbol]	[Symbol]	VALVE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CLEANOUT
[Symbol]	[Symbol]	DROP INLET (CURB OR GRATE)
[Symbol]	[Symbol]	DITCH OR SWALE
[Symbol]	[Symbol]	UTILITY POLE, GUY & ANCHOR
[Symbol]	[Symbol]	CENTERLINE OR BASELINE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	SURVEY TRAVERSE POINT
[Symbol]	[Symbol]	DEFLECTION ANGLE
[Symbol]	[Symbol]	DIRECT ANGLE
[Symbol]	[Symbol]	WELL
[Symbol]	[Symbol]	BENCHMARK
[Symbol]	[Symbol]	FENCE
[Symbol]	[Symbol]	TREE LINE

NAME of
DEVELOPMENT

FOXFIELD at
RUSSLEN FARMS
SECTION 2

LOCATION

EXTENSION OF MILLWOOD DRIVE & HIGH GATE LANE
WINDSOR HILLS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

OWNER

RUSSLEN FARMS DEVELOPMENT, LLC
494 GLENMORE DRIVE
SALEM, VIRGINIA 24153

CONTRACTOR

THOMAS BROS. L.C.
523 RUTHERFORD AV, NE
ROANOKE, VIRGINIA 24016

TAX MAP #(s)

56.03-02-43

REVISIONS

No.	Date	Remarks	By
1	7/16/03	Per Roanoke County & VDOT 1st Review	J.J.
1	10/24/03	Per Roanoke County 2nd Review	J.J.

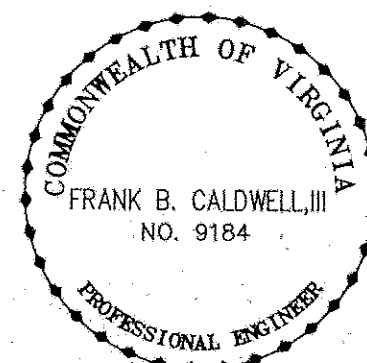
Designed:J.V.J.

Checked:F.B.C.

Date:Aug. 29, 2002

W.O. #:01-0090

N.B. #:Johnston Est.



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