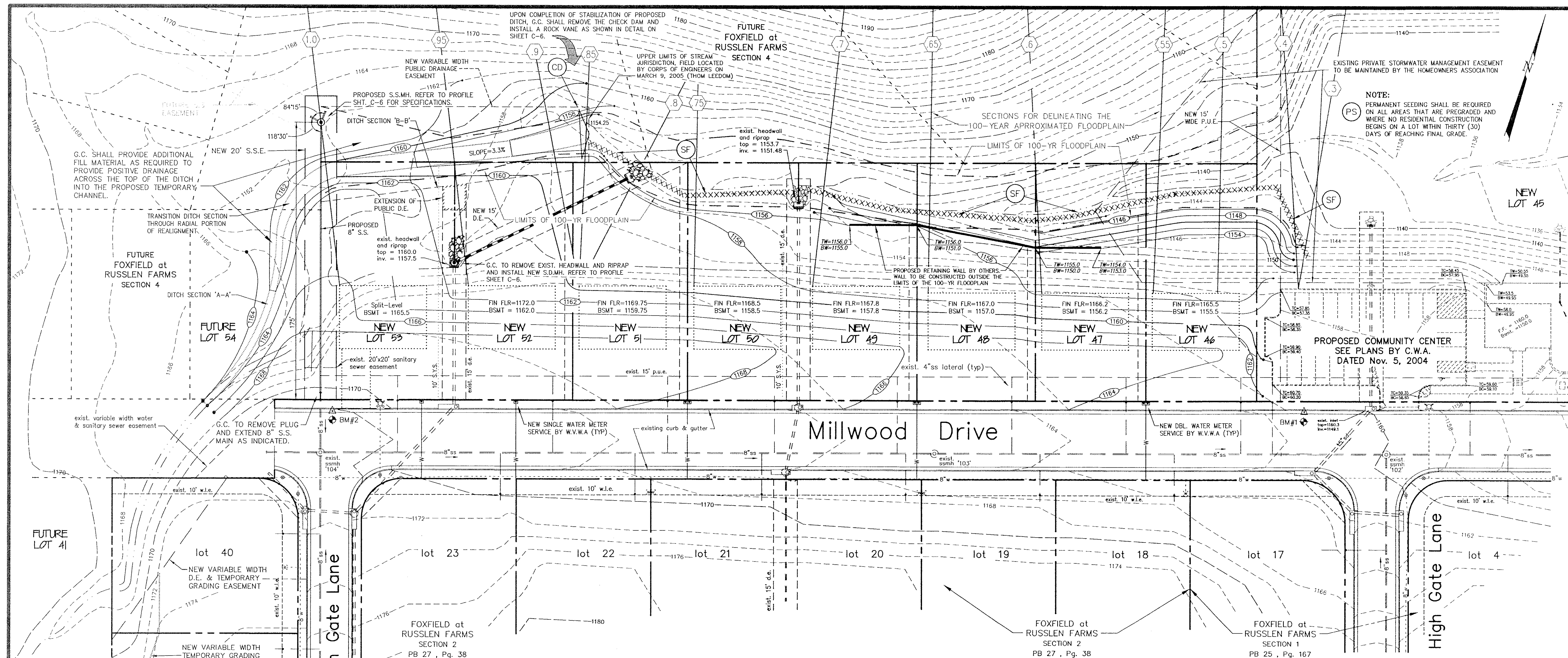




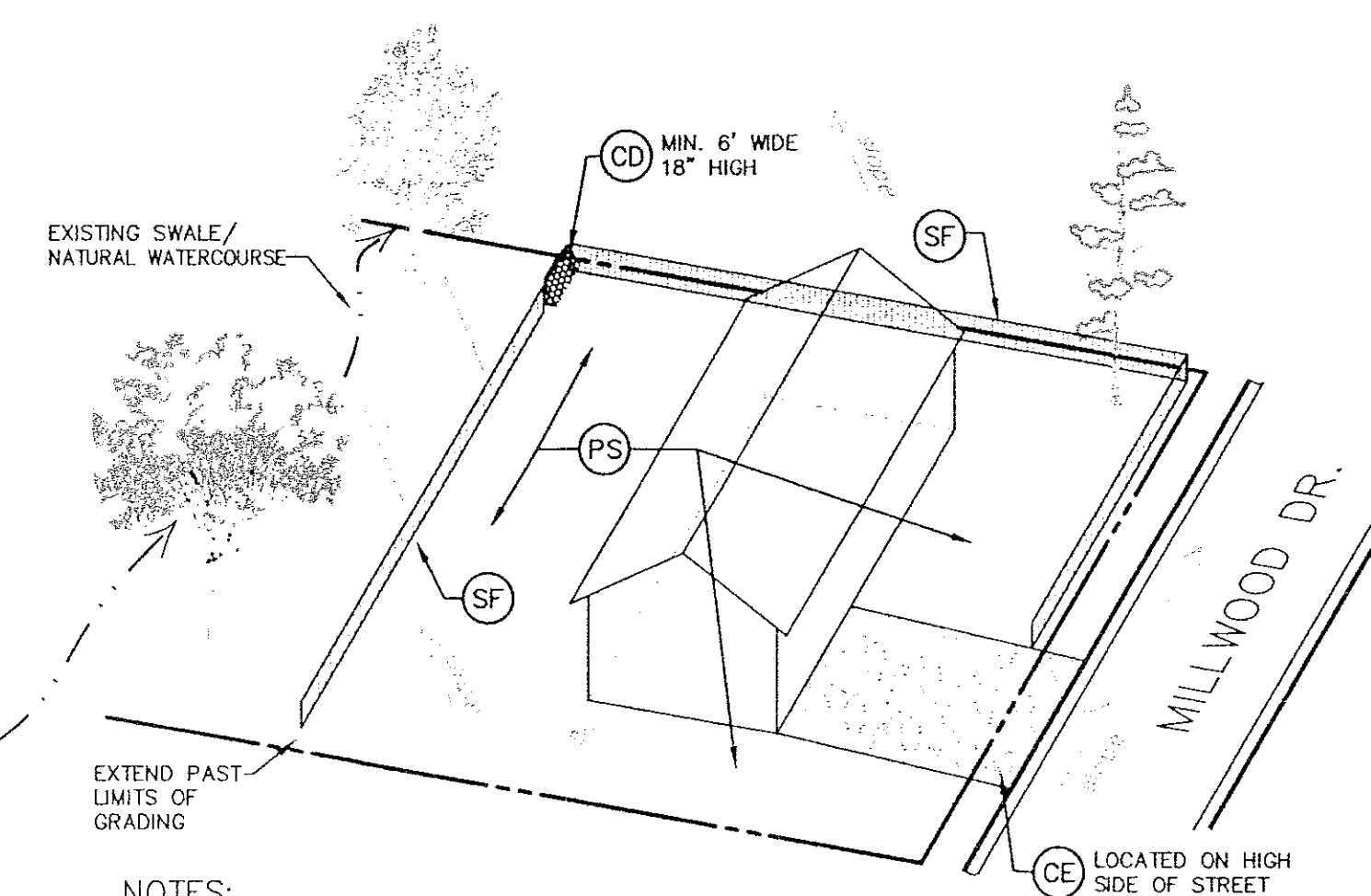
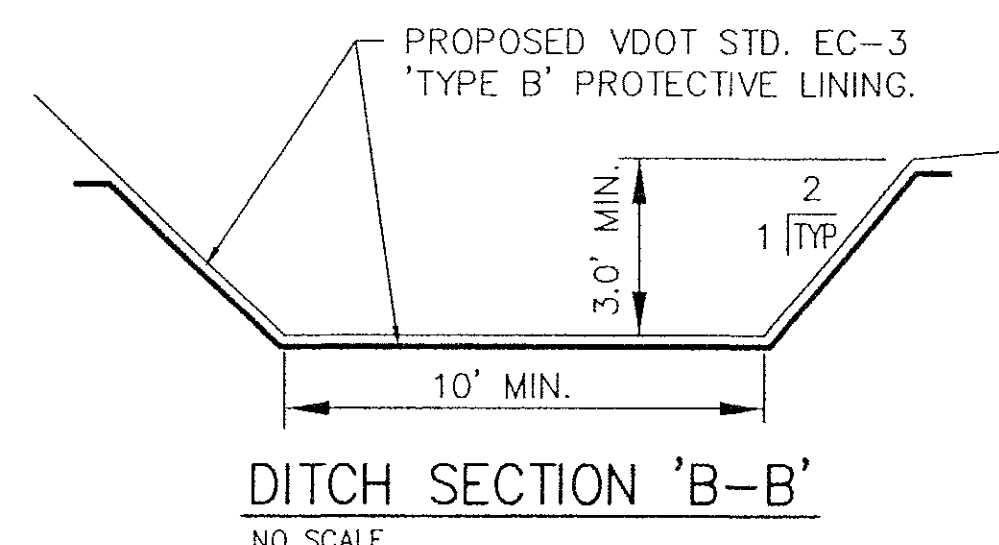
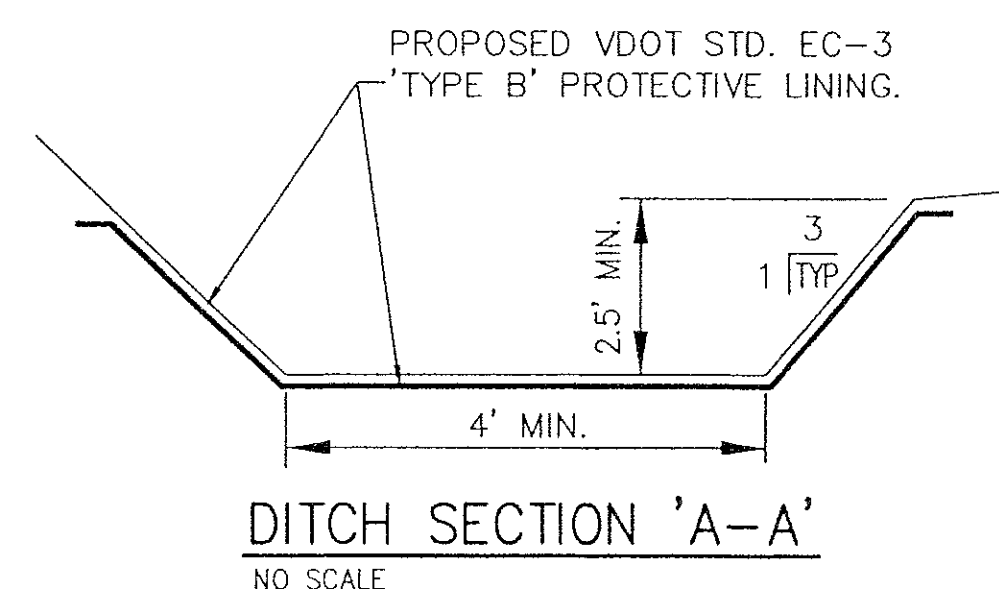
SANITARY SEWER MANHOLE AND CLEANOUT INFORMATION

LOT	MH - STA/OS	C.O. Inv.	MIN. FLOOR ELEV.
45	exist '102' - 0+72.0 / 33.0' Rt.	1152.5	1154.5
46	exist '102' - 0+92.0 / 33.0' Rt.	1152.6	1154.6
47	exist '102' - 1+64.5 / 33.0' Rt.	1153.0	1155.0
48	exist '102' - 2+37.0 / 33.0' Rt.	1153.3	1155.3
49	exist '103' - 0+23.6 / 33.0' Rt.	1153.8	1155.8
50	exist '103' - 1+01.1 / 33.0' Rt.	1154.4	1156.4
51	exist '103' - 1+68.6 / 33.0' Rt.	1154.8	1156.8
52	exist '103' - 2+41.1 / 33.0' Rt.	1155.3	1157.3
53	exist '103' - 3+39.4 / 33.0' Rt.	1156.0	1158.0

STATIONS AND OFFSETS ARE MEASURED ALONG A BASELINE FROM CENTER OF MANHOLE TO CENTER OF MANHOLE WITH 0+00.0 BEING THE BEGINNING AT THE LOWER MANHOLE.

CLEANOUT ELEVATIONS ARE BASED ON A MINIMUM SLOPE OF 2.08% WITHIN THE RIGHT-OF-WAY OR EASEMENTS AND MAY BE INCREASED AS DICTATED BY THE SURROUNDING TOPOGRAPHY.

THE MIN. FLOOR ELEVATION IS BASED ON SEC. 200.02-5-A-8 OF THE W.V.A. WATER & SEWER REGULATIONS. LOT OWNERS REQUESTING A LOWER SERVICE ELEVATION WILL REQUIRE THE USE OF A PRIVATE SEWAGE PUMP FACILITY, INSTALLED AND MAINTAINED BY THE HOMEOWNER.



NOTES:

1. REFER TO VESCH FOR DETAILS OF PROPOSED SOIL EROSION MEASURES
2. LAYOUT IS FOR SCHEMATIC PURPOSES ONLY. G.C. SHALL ADJUST LOCATION OF SILT FENCING AND CHECK DAM TO INTERCEPT ALL DISTURBED AREAS.
3. ADDITIONAL ITEMS OR MODIFICATIONS MAY BE REQUIRED AS DIRECTED BY ROANOKE COUNTY INSPECTORS.
4. POSITIVE DRAINAGE SHALL BE PROVIDED ALONG THE LONGITUDINAL SLOPE OF THE SILT FENCING TO THE PROPOSED CHECK DAM.
5. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

TYPICAL ESC PLAN FOR A SINGLE DWELLING

NO SCALE

BENCHMARKS:

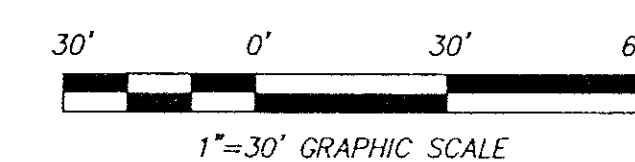
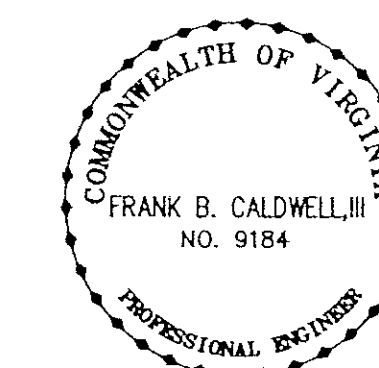
B.M. #1
P.K. NAIL SET IN CONCRETE GUTTER PAN
LOCATED IN NORTHSIDE OF MILLWOOD DRIVE
WEST OF HIGH GATE LANE
ELEV. = 1161.25

B.M. #2
P.K. NAIL SET IN CONCRETE GUTTER PAN
LOCATED IN NORTHSIDE OF MILLWOOD DRIVE
AT INTERSECTION OF HIGH GATE LANE
ELEV. = 1170.26

MINIMUM FLOOR ELEVATIONS

LOT No.	100-YR ELEV.	MIN. REQD.
45	1145.75	1147.75
46	1145.75	1147.75
47	1145.75	1147.75
48	1151.29	1153.30
49	1152.99	1155.00
50	1155.02	1157.10
51	1157.66	1159.70
52	1159.85	1161.90
53	1163.07	1165.10

THE ABOVE ELEVATIONS ARE BASED ON A COMPUTER PROGRAM TO APPROXIMATE THE 100-YEAR FLOOD-PLAIN DUE TO SEC. 30-74-4-A-3 OF THE COUNTY OF ROANOKE ZONING ORDINANCE.



GRADING & UTILITY PLAN FOXFIELD at RUSSLEN FARMS SECTION 3

CATAWBA MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA



CALDWELL WHITE ASSOCIATES
ENGINEERS / SURVEYORS / PLANNERS

4203 MELROSE AVENUE, N.W.
Ft. Office Box 6260
ROANOKE, VIRGINIA 24017
Telephone: (540) 366-3400 • Fax: (540) 366-6702
EMAIL: CWA@AOL.COM

Designed: J.V. Judy
Drawn: J.V. Judy
Checked: F.B. Caldwell
Revised: May 11, 2005
Scale: 1"=30'
Tax Parcel: 56.03-2-43
W.O. # 01-0090