

SITE SUMMARY

OWNER: RUSSLEN FARMS DEVELOPMENT, LLC
494 GLENMORE DRIVE
SALEM, VIRGINIA 24153

DEVELOPER: RUSSLEN FARMS DEVELOPMENT, LLC
494 GLENMORE DRIVE
SALEM, VIRGINIA 24153

TAX MAP NUMBER: 56.03-02-37.01-0000

SIZE: ±9.79 ACRES

ZONING: R-1 LOW DENSITY RESIDENTIAL DISTRICT

PROPOSED USE: SINGLE FAMILY DWELLING, DETACHED (ZERO LOT LINE OPTION)

MINIMUM LOT SIZE REQUIRED: 0.13 AC./5,760 SQ.FT.

MINIMUM LOT FRONTAGE REQUIRED: 48'
30' ON CUL-DE-SAC

LOT FRONTAGE PROVIDED: 58' MINIMUM

SIGNAGE: A MAXIMUM OF 30 SF OF SIGNAGE IS ALLOWED FOR IDENTIFICATION OF THIS SUBDIVISION. ANY SIGNAGE MUST MEET ALL OF THE REQUIREMENTS OF THE ROANOKE COUNTY ZONING ORDINANCE SECTION 30-93 AND WILL REQUIRE A SEPERATE PERMIT.

SETBACKS: FRONT 30' FOR EXISTING R/W
24' FOR INTERIOR R/W
SIDE 10' WHEN ADJACENT TO PROPERTY NOT WITHIN COMMON DEVELOPMENT - OTHERWISE ONE 10' YARD AND ONE ZERO YARD
REAR 25' WHEN ADJACENT TO PROPERTY NOT WITHIN COMMON DEVELOPMENT OTHERWISE 20'

FEMA MAP #: 51161C0139 G (EFFECTIVE DATE 09/28/07)

MAXIMUM BUILDING HEIGHT: 45'

MAXIMUM LOT COVERAGE: 50%

MAXIMUM BUILDING COVERAGE: 40 PERCENT OF LOT AREA

WALL MAINTENANCE NOTE: A PERPETUAL 5 FOOT WALL MAINTENANCE EASEMENT SHALL BE PROVIDED ON THE LOT ADJACENT TO THE ZERO LOT LINE PROPERTY LINE. THIS EASEMENT SHALL BE KEPT CLEAR OF STRUCTURES OR ANY OTHER IMPROVEMENT WHICH WOULD INFRINGE ON THE USE OF THE EASEMENT, WITH THE EXCEPTION OF FREESTANDING WALLS AND FENCES. THIS EASEMENT SHALL BE SHOWN ON THE PLAT AND INCORPORATED INTO EACH DEED TRANSFERRING TITLE TO THE PROPERTY.

FOXFIELD COURT CENTERLINE DATA

FOXFIELD COURT C.L. - LINE TABLE

LINE #	LENGTH	BEARING
L1	6.87	S68°06'43"W
L2	553.10	S83°45'05"W

FOXFIELD COURT C.L. - CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	79.14'	200.00'	22°40'23"	S79° 26' 53.99"W	78.63'
C2	61.38'	500.00'	7°02'00"	S87° 16' 05.27"W	61.34'

30 0 30 60 90

SCALE: 1" = 30'

NOTE: SEE SHEET C13 FOR
SITE ENTRANCE DETAIL AND
ADDITIONAL INFORMATION
REGARDING DEMOLITION OF
EXISTING STORM STRUCTURES



REFLECTING TOMORROW

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Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
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LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

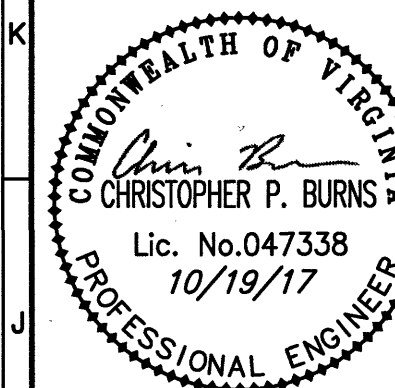
Balzer and Associates, Inc.

1208 Corporate Circle

Roanoke, VA 24018

540-772-9580

FAX 540-772-8050



FOXFIELD - SECTION 6

LAYOUT & UTILITY PLAN

CATAWBA DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY: LAR
DESIGNED BY: LAR
CHECKED BY: CPB
DATE: 8/18/2016
SCALE: 1"=30'

REVISIONS:
10/20/2016
11/10/2016
10/19/2017 - PR#1

SHEET NO.

C4

JOB NO. R1400109.00

TRACT 2A1
RUSSLEN FARMS DEVELOPMENT, LLC
T.M. #056.03-02-37.01-0000
36.667± ACRES REMAINING FROM RECORDS
FOR FUTURE DEVELOPMENT