

KNOW ALL MEN BY THESE PRESENTS TO WIT:
THAT RUSSLLEN FARMS LAND CO., LLC IS THE FEE SIMPLE OWNER OF THE LAND SHOWN HEREON
TO BE SUBDIVIDED, ROANOKE COUNTY TAX PARCEL #056.03-02-37.01 AND IS A PORTION
OF THE LAND CONVEYED TO SAID OWNER BY DEED, RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT
COURT OF ROANOKE COUNTY, VIRGINIA IN INSTRUMENT NUMBER 202002438.

RUSSLLEN FARMS LAND CO., LLC DOES AS A CONDITION PRECEDENT TO THE APPROVAL OF THIS PLAT
AND SUBDIVISION, ON ITS BEHALF AND FOR AND ON ACCOUNT OF ITS SUCCESSORS AND ASSIGNS,
SPECIFICALLY RELEASE THE COUNTY OF ROANOKE OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION
FROM ANY AND ALL CLAIM OR CLAIMS FOR DAMAGES WHICH SAID OWNER, ITS SUCCESSORS AND
ASSIGNS, MAY OR MIGHT HAVE AGAINST THE COUNTY OF ROANOKE OR THE VIRGINIA DEPARTMENT
OF TRANSPORTATION BY REASON OF ESTABLISHING PROPER GRADE LINES ON AND ALONG SUCH
STREETS AS SHOWN ON THIS PLAT OF SUBDIVISION (OR SUCH CHANGED STREETS AS MAY BE
AGREED UPON IN THE FUTURE) AND BY REASON OF DOING NECESSARY GRADING, CUTTING OR
FILLING FOR THE PURPOSE OF PLACING SUCH STREETS UPON PROPER GRADES, AS MAY FROM
TIME TO TIME, BE ESTABLISHED BY SAID COUNTY OR VIRGINIA DEPARTMENT OF TRANSPORTATION
AND SAID COUNTY OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION SHALL NOT BE REQUIRED
TO CONSTRUCT ANY RETAINING WALL OR WALLS ALONG THE STREETS AND PROPERTY LINES
THEREOF OR MAINTAIN ANY EASEMENTS AS SHOWN HEREON.

RUSSLLEN FARMS LAND CO., LLC BY VIRTUE OF THE RECORDATION OF THIS PLAT DOES HEREBY
DEDICATE TO THE COUNTY OF ROANOKE IN FEE SIMPLE TITLE, THE LAND SHOWN HEREON AS
SET APART FOR PUBLIC STREETS BEING 0.521 AC. WITHIN RUSSLLEN DRIVE.

RUSSLLEN FARMS LAND CO., LLC BY VIRTUE OF THE RECORDATION OF THIS PLAT, GRANTS TO THE WESTERN
VIRGINIA WATER AUTHORITY, ALL PUBLIC WATERLINE RIGHTS AND EASEMENTS AND ALL PUBLIC SANITARY SEWER
LINE RIGHTS AND EASEMENTS AS SHOWN HEREON, TO CONSTRUCT, INSTALL, IMPROVE, OPERATE,
INSPECT, USE, MAINTAIN, REPAIR AND REPLACE A WATER AND/OR SEWER LINE OR LINES TO-
GETHER WITH RELATED IMPROVEMENTS, INCLUDING SLOPE(S), IF APPLICABLE, TOGETHER WITH THE
RIGHT OF INGRESS AND EGRESS THERETO FROM A PUBLIC ROAD, UPON, OVER, UNDER, AND
ACROSS CERTAIN TRACTS OR PARCELS OF LAND BELONGING TO THE OWNER.

RUSSLLEN FARMS LAND CO., LLC BY VIRTUE OF THE RECORDATION OF THIS PLAT DOES HEREBY
GRANT TO THE COUNTY OF ROANOKE THOSE CERTAIN AREAS SHOWN HEREON AS SET APART FOR
USE AS PUBLIC UTILITY EASEMENTS.

THE ABOVE DESCRIBED OWNER HEREBY CERTIFIES THAT THEY HAVE SUBDIVIDED THE LAND AS SHOWN
HEREON, AS REQUIRED BY SECTION 15.2-2240 THRU 15.2-2279 OF THE CODE OF VIRGINIA, 1950
AS AMENDED TO DATE AND WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE AS AMENDED TO
DATE, ENTIRELY WITH THEIR FREE WILL AND CONSENT AND IN ACCORDANCE WITH THE DESIRES OF
THE OWNERS OR PROPRIETORS OF THE LAND AND THE TRUSTEES IN ANY DEED OF TRUST, OR ANY
OTHER INSTRUMENT IMPOSING A LIEN UPON SUCH LAND, IF ANY THERE BE.

IN WITNESS WHEREON ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS:

RUSSLLEN FARMS LAND CO., LLC

BY:

ITS:

DATE:

PRINT NAME

STATE OF VIRGINIA

City of Roanoke

I, Katherine Noel Maynard, A NOTARY PUBLIC IN
AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT
NAME IS SIGNED TO THE FOREGOING INSTRUMENT, HAS
PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE
SAME ON THIS 9th DAY OF April, 2020.

Katherine Noel Maynard REG. # 7664950
NOTARY PUBLIC
MY COMMISSION EXPIRES May 31, 2024



NEW TEMPORARY
TURN-AROUND
EASEMENT
(TO BE VACATED UPON EXTENSION
OF RUSSLLEN DRIVE)

RUSSLLEN FARMS LAND CO., LLC
TRACT 2A1A1
T.M. #056.03-02-37.01-0000
33.182 ACRES REMAINING FROM RECORDS
FOR FUTURE DEVELOPMENT

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	TANGENT
C1	25.00'	32.44'	S 27°39'17" W	30.21'	74°21'01"	18.96'

APPROVED:

AGENT, ROANOKE COUNTY PLANNING COMMISSION

THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A
CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND
THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE
CONVEYED BY A DEED AND SAID DEED MUST BE RECORDED IN
THE ROANOKE COUNTY, VIRGINIA CIRCUIT COURT CLERK'S OFFICE.

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY,
VIRGINIA, THIS PLAT WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO
ANNEXED AND ADMITTED TO RECORD AT 10:48 O'CLOCK A.M. ON
THIS 16th DAY OF April, 2020, IN INSTRUMENT No.

202003880

TESTE: STEVEN A. MCGRAW, Clerk
CLERK

DEPUTY CLERK

NOTES:

- OWNER OF RECORD: RUSSLLEN FARMS LAND CO., LLC
LEGAL REFERENCES: INSTRUMENT #202002438, PLAT INSTRUMENT #201206318
PLAT INSTRUMENT #201204979, PLAT INSTRUMENT #200313826
PLAT INSTRUMENT #200710235 PLAT INSTRUMENT #200609996
PLAT INSTRUMENT #201706985, INSTRUMENT #200200757
T.M. #056.03-02-37.01-0000
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY
EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
- PROPERTY IS IN F.E.M.A. DEFINED ZONE X (UNSHADED). SEE F.E.M.A. MAP PANEL #51161C0139G
(REVISED DATE: 9/28/07) THIS OPINION IS BASED UPON A REVIEW OF SAID MAP AND HAS
NOT BEEN VERIFIED BY FIELD ELEVATIONS.
- PROPERTIES ARE CURRENTLY ZONED: R-1
SETBACKS SHOWN HEREON BASED ON ROANOKE COUNTY CODE SECTION 30-82-12, SINGLE
FAMILY, DETACHED (ZERO LOT LINE OPTION).
- IRON PINS WILL BE SET AT ALL CORNERS, P.C.'S & P.T.'S UNLESS OTHERWISE NOTED.
- THE HOMEOWNERS ASSOCIATION AND/OR LOT OWNERS OF THIS SUBDIVISION SHALL SHARE
MAINTENANCE RESPONSIBILITIES OF THE STORMWATER MANAGEMENT AREA SHOWN ON THE
PLAT OF "WOODS HILL AT RUSSLLEN FARMS" SECTION 1 (PLAT INSTRUMENT #200710235) AND
THE PRIVATE STORM DRAINAGE SYSTEM AND AREAS CONTAINED WITHIN THE PRIVATE DRAINAGE EASEMENTS.
- PROPERTY MAY CONTAIN UNDERGROUND UTILITY SERVICE LINES.
- COORDINATES SHOWN HEREON ARE ASSUMED.

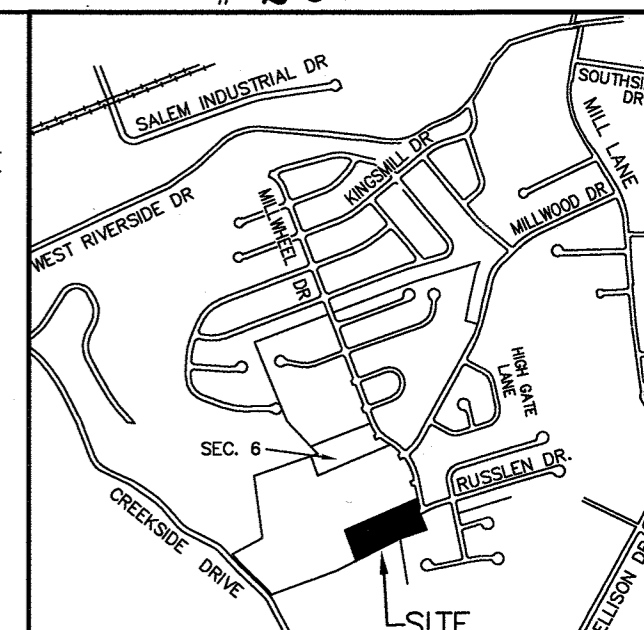
I HEREBY CERTIFY THAT THIS PLAT IS FROM A CURRENT
FIELD SURVEY AND FROM RECORDS AND IS CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF.

John R. McAden
JOHN R. MCADEN

002002

N/F
RUSSLLEN FARMS LAND CO. LLC
INSTRUMENT #202002438
TAX MAP #056.03-02-29.00-0000

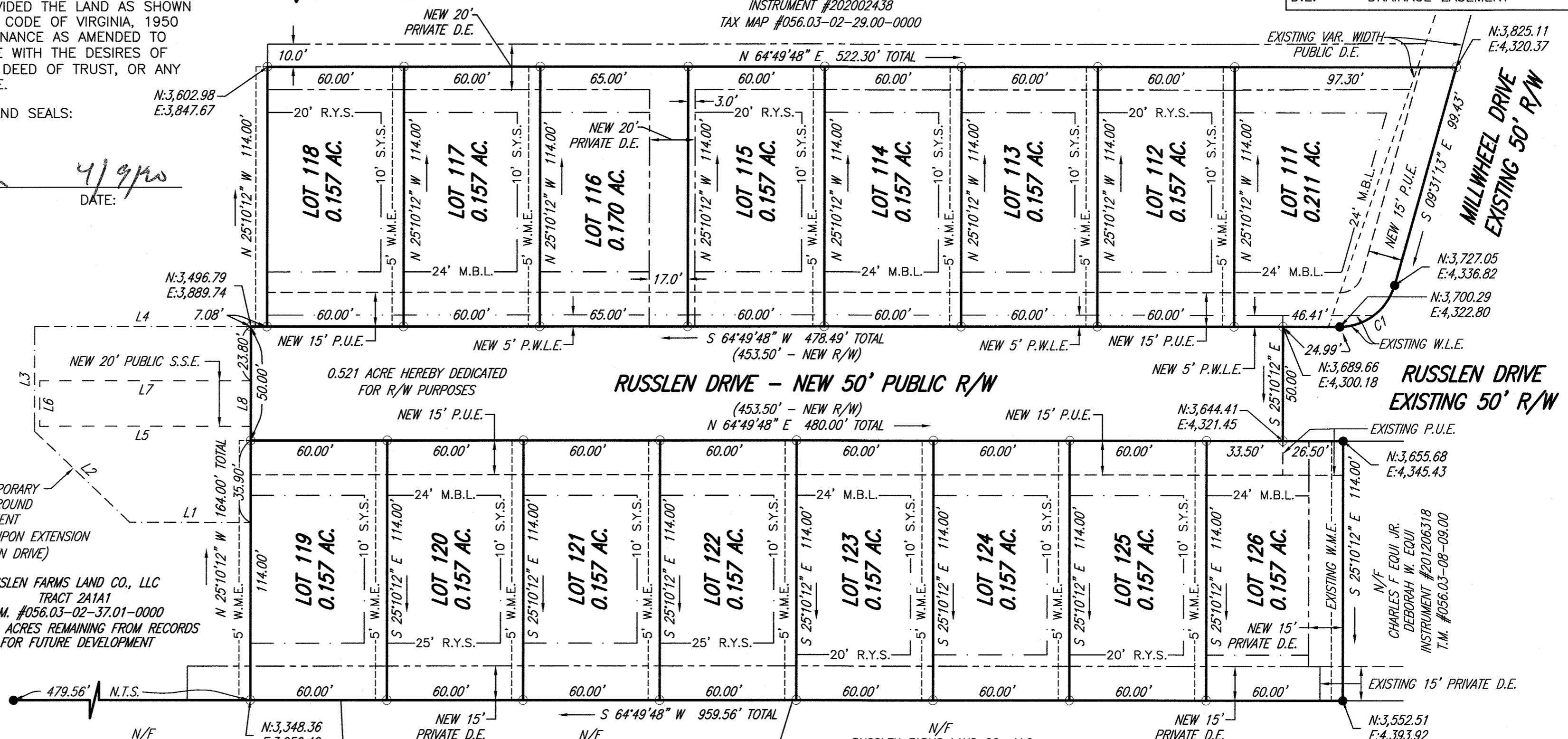
RUSSLLEN FARMS LAND CO., LLC
TRACT 2A1A1
T.M. #056.03-02-37.01-0000
33.182 ACRES REMAINING FROM RECORDS
FOR FUTURE DEVELOPMENT



VICINITY MAP
NO SCALE

LEGEND

- - IRON PIN FOUND
- - IRON PIN SET
- P.W.L.E. - PUBLIC WATERLINE ESMT
- P.U.E. - PUBLIC UTILITY ESMT
- W.M.E. - WALL MAINT. ESMT
- M.B.L. - MINIMUM BUILDING LINE
- S.Y.S. - SIDE YARD SETBACK
- R.Y.S. - REAR YARD SETBACK
- D.E. - DRAINAGE EASEMENT



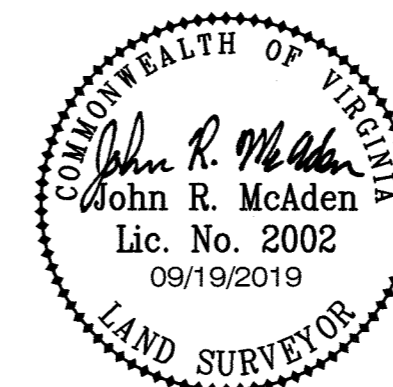
40' 0' 20' 40' 80' 160'

SCALE: 1" = 40'

ACREAGE TABLE

2.580 ACRES, LOTS 111 THRU 126 + 0.521 ACRE IN RIGHT-OF-WAY DEDICATION FOR RUSSLLEN DRIVE
3.101 ACRES TOTAL FOR FOXFIELD AT RUSSLLEN FARMS, SECTION 7
36.283 ACRES FROM RECORDS, TRACT 2A1A INST. #201706985 - 3.101 ACRES TOTAL FOR FOXFIELD AT RUSSLLEN FARMS, SECTION 7
33.182 ACRES TOTAL REMAINING TRACT 2A1A1 TAX MAP #056.03-02-37.01-0000

LINE	BEARING	DISTANCE
L1	S 64°49'48" W	53.00'
L2	N 71°30'10" W	57.93'
L3	N 25°10'12" W	45.90'
L4	N 64°49'48" E	94.91'
L5	S 64°49'48" W	92.63'
L6	N 25°10'12" W	20.00'
L7	N 64°49'48" E	92.63'
L8	S 25°10'12" E	20.00'



PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
1208 Corporate Circle / Roanoke, Virginia 24018 / Phone (540) 772-9580 / www.balzer.cc

PLAT OF SURVEY
SHOWING A ZERO LOT LINE SUBDIVISION
OWNED BY RUSSLLEN FARMS
LAND CO., LLC
TO BE KNOWN AS

FOXFIELD AT RUSSLLEN FARMS

SECTION 7

CREATING HEREON
LOTS 111 THROUGH 126
TRACT 2A1A1 - 33.182 ACRES FROM RECORDS
SITUATED ALONG MILLWHEEL DRIVE
AND RUSSLLEN DRIVE
CATAWBA MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA
DATED SEPTEMBER 19, 2019
JOB #04180072.00
SCALE: 1" = 40'

