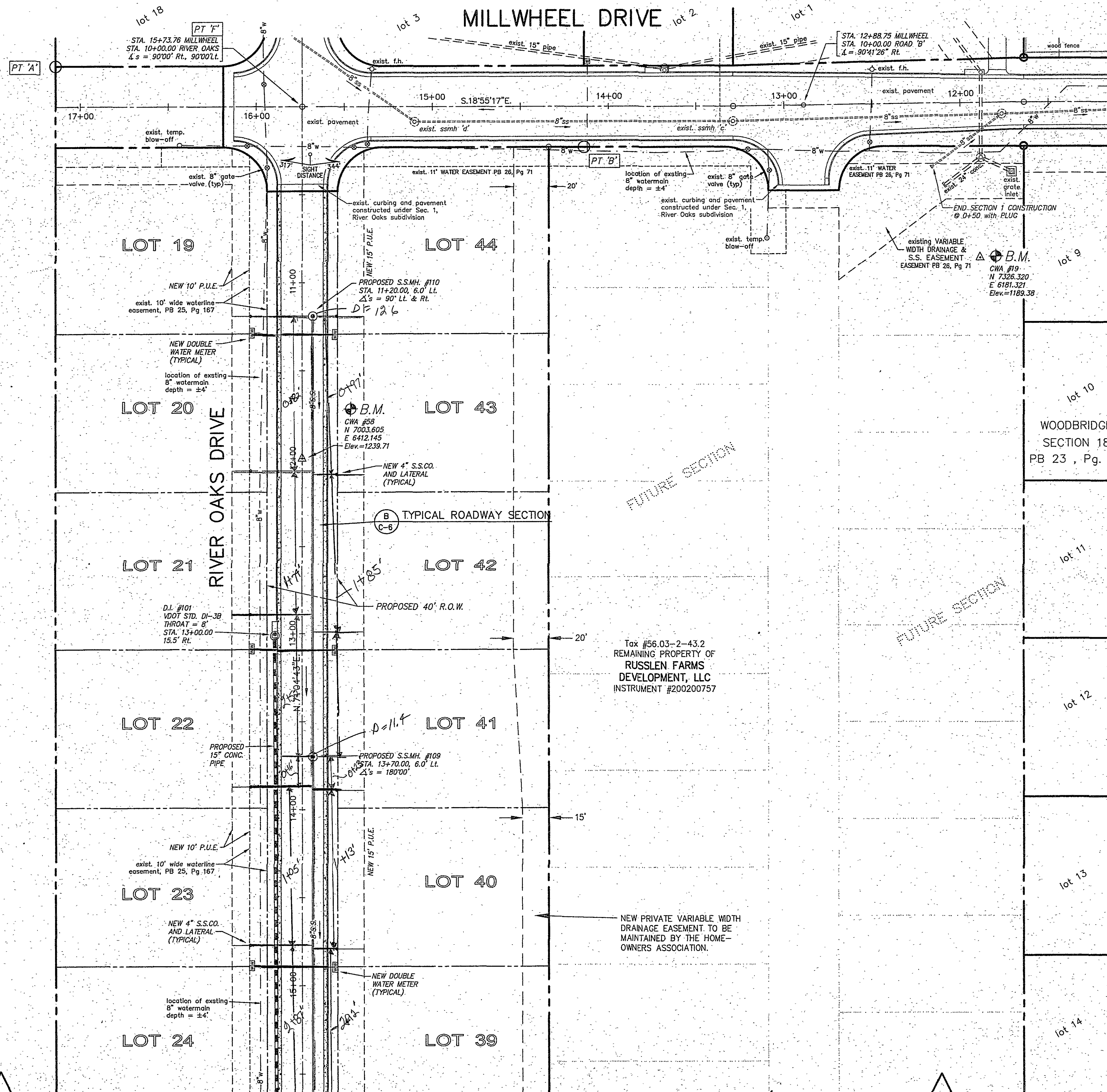




SUPPLEMENTAL LOCATION POINTS

BASED ON AN ASSUMED DATUM BY CALDWELL WHITE ASSOCIATES
BOUNDARY SURVEY, DATED FEB. 25, 2003.

POINTS IDENTIFIED AS 'CWA #' ARE FIELD SURVEY TRAVERSE POINTS AND ARE TO BE USED FOR HORIZONTAL CONTROL STAKEOUT FOR THIS PROJECT.

PT.	NORTHING	EASTING	DESCRIPTION
A	6798.584	6246.714	BOUNDARY CORNER
B	7097.524	6192.867	BOUNDARY CORNER
C	7343.081	6909.207	BOUNDARY CORNER
D	7613.185	6926.196	BOUNDARY CORNER
E	7101.996	7131.830	BOUNDARY CORNER
F	6938.7114	6222.9930	STA. 10+00.00
G	7187.9512	6950.0774	STA. 17+68.62
H	7342.5092	7067.9850	STA. 19+74.72
I	7472.3061	7076.1489	STA. 21+04.78

SUPPLEMENTAL SUBDIVISION NOTES

THE SUBJECT PROPERTY IS RESIDUAL ACRES (19.862 ACRES) AS CREATED BY THE RECORDATION OF P.B. 27, Pg. 38 AND OFFICIALLY RECOGNIZED BY THE COUNTY OF ROANOKE AS TAX PARCEL #56.03-02-43. THE LEGAL PROPERTY AND EXISTING EASEMENT REFERENCES CAN BE LOCATED ON:

- * RESUBDIVISION PLAN FOR RUSSLER FARMS DEVELOPMENT, LLC -- P.B. 25, Pg. 37
- * RECORDATION OF SECTION 1, FOXFIELD AT RUSSLER FARMS -- P.B. 25, Pg. 167
- * RECORDATION OF SECTION 1, RIVER OAKS AT RUSSLER FARMS -- P.B. 26, Pg. 71
- * RECORDATION OF SECTION 2, FOXFIELD AT RUSSLER FARMS -- P.B. 27, Pg. 38

THIS PROPERTY IS LOCATED IN F.E.M.A. DEFINED ZONE X UNSHADED. SEE F.E.M.A. MAP 51161C0039 WITH AN EFFECTIVE DATE OF OCTOBER 18, 1995.

THE HOMEOWNERS ASSOCIATION OF THIS DEVELOPMENT SHALL ASSUME RESPONSIBILITY OF THE PRIVATE STORM DRAINAGE SYSTEM AND OF THE STORMWATER MANAGEMENT FACILITY LOCATED THEREIN, AND CONTAINED WITHIN AN EASEMENT HEREBY IDENTIFIED.

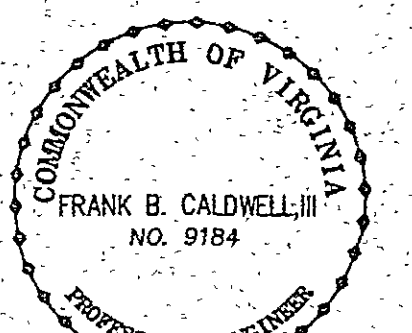
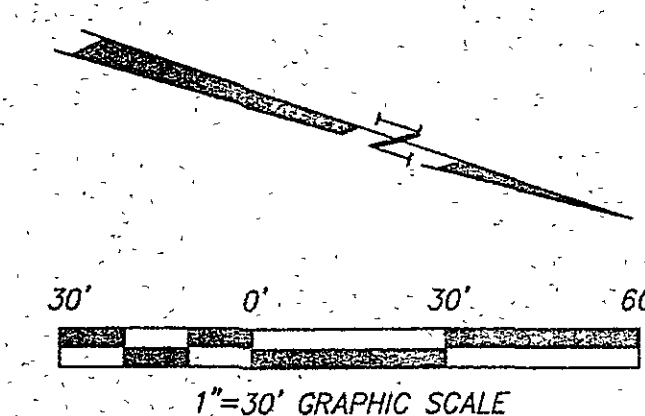
PARKING REQUIREMENTS FOR THE LOTS CREATED HEREON SHALL CONFORM TO THE COUNTY OF ROANOKE ZONING ORDINANCE, AS SPECIFIED IN SEC. 30-91-9. THIS SECTION STATES THAT FOR EACH SINGLE FAMILY DWELLING, TWO (2) OFF-STREET SPACES SHALL BE PROVIDED.

THE TEMPORARY GRADING REQUIRED FOR THE EXTENSION OF MILLWOOD DRIVE TO THE ADJOINING PROPERTY (TAX PARCEL #56.03-2-37) ON LOT 19 SHALL BE VAGATED UPON ACCEPTANCE OF THE ROAD INTO THE VDOT SECONDARY ROAD SYSTEM.

THE PRIVATE DRIVEWAYS FOR LOTS 19 AND 44 SHALL BE PROVIDED OFF OF THE PROPOSED RIVER OAKS DRIVE EXTENSION AND SHALL NOT BE ACCESSED OFF OF MILLWHEEL DRIVE DUE TO SIGHT DISTANCE LIMITATIONS.

THE HOMEOWNERS ASSOCIATION OF THIS DEVELOPMENT SHALL ASSUME RESPONSIBILITY OF THE RECREATIONAL EASEMENT AND ALL APPURTENANCES LOCATED WITHIN THE EASEMENT HEREBY DEDICATED BY THE RECORDED SUBDIVISION PLAN.

THE HOMEOWNERS ASSOCIATION OF THIS DEVELOPMENT SHALL ASSUME RESPONSIBILITY OF THE PRIVATE DRAINAGE EASEMENTS IDENTIFIED ON THESE DRAWINGS.



DIMENSIONAL & UTILITY PLAN RIVER OAKS at RUSSLER FARMS

SECTION 2
CATAWBA MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

Designed: J.V. Judy
Checked: F.B. Caldwell
Revised: Jan. 21, 2005
Scale: 1"=30'
Tax Parcel: 56.03-2-43
W.O. #: 01-0090
Notebook: Russlen Farms

CWA
CALDWELL WHITE ASSOCIATES
ENGINEERS / SURVEYORS / PLANNERS
4203 MELROSE AVENUE, N.W.
Post Office Box 6260
ROANOKE, VIRGINIA 24017
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EMAIL: CWA@ROANOKE.AOL.COM

MATCHLINE, SEE SHEET C-8