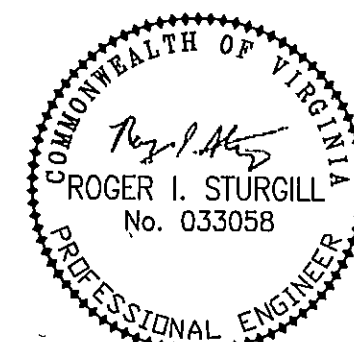
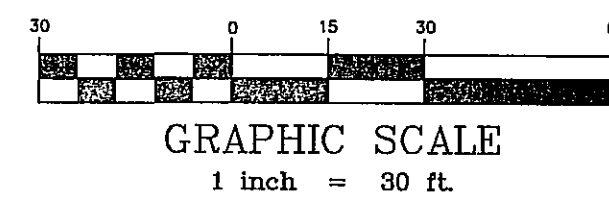


MATCHLINE, SEE SHEET C-4



Tax #56.03-2-21
REMAINING PROPERTY
RUSSLEN FARMS
DEVELOPMENT, LLC

ALL VDOT STD. DI-7 'S INDICATED ON THE
PLANS SHALL HAVE A TYPE A III GRATE

FENCING NOTES

- #1--G.C. SHALL PROVIDE A NEW VDOT STD. CG-12D, MIN. 12' WIDE CENTERED ON THE COMMON PROPERTY LINE AS INDICATED.
- #2--G.C. SHALL PROVIDE A DOUBLE GATE, MIN. 10' WIDE CENTERED ON THE COMMON PROPERTY LINE AS INDICATED.
- #3--G.C. SHALL PROVIDE AND INSTALL FENCE AS INDICATED AROUND THE TOP PERIMETER OF THE S.W.M. FACILITY. FENCING SHALL BE A MINIMUM OF SIX (6) FEET HIGH OF STANDARD NINE (9) GAUGE CHAIN LINK.



www.balzer.cc
PLANNERS • ARCHITECTS
ENGINEERS • SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-8580
FAX: 540/772-8050

501 Branchway Road
Richmond, Virginia 23296
Phone: 804/794-0571
FAX: 804/794-2635

680 Technology Park Drive
Suite 200
Glenn Allen, Virginia 23069
Phone: 804/853-0132
FAX: 804/853-0133

102 Hubbard Street
Blacksburg, Virginia 24060
Phone: 804/861-0961
FAX: 804/861-0962

1557 Commerce Road
Suite 201
Verona, Virginia 24482
Phone: 804/248-3250
FAX: 804/248-3221

WOODS HILL, SEC. 1
FOXFIELD, SEC. 5
DIMENSIONAL PLAN
AT RUSSLEN FARMS
ROANOKE COUNTY, VIRGINIA

DRAWN BY: JVJ
DESIGNED BY: JVJ
CHECKED BY: SMH
DATE: 10/31/06
REVISIONS:
01/23/06 PER VDOT &
RKE CO. 1ST REVIEW
05/25/06 PER VDOT &
RKE CO. 2ND REVIEW
08/14/06 PER VDOT &
RKE CO. 3RD REVIEW

SCALE: 1" = 30'
SHEET NO.
C-3
JOB NO.
R0500271.00

