

Notes: All Landowners, Developers and Contractors  
FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW  
MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A  
STOP WORK ORDER.

Construction Procedure Requirements

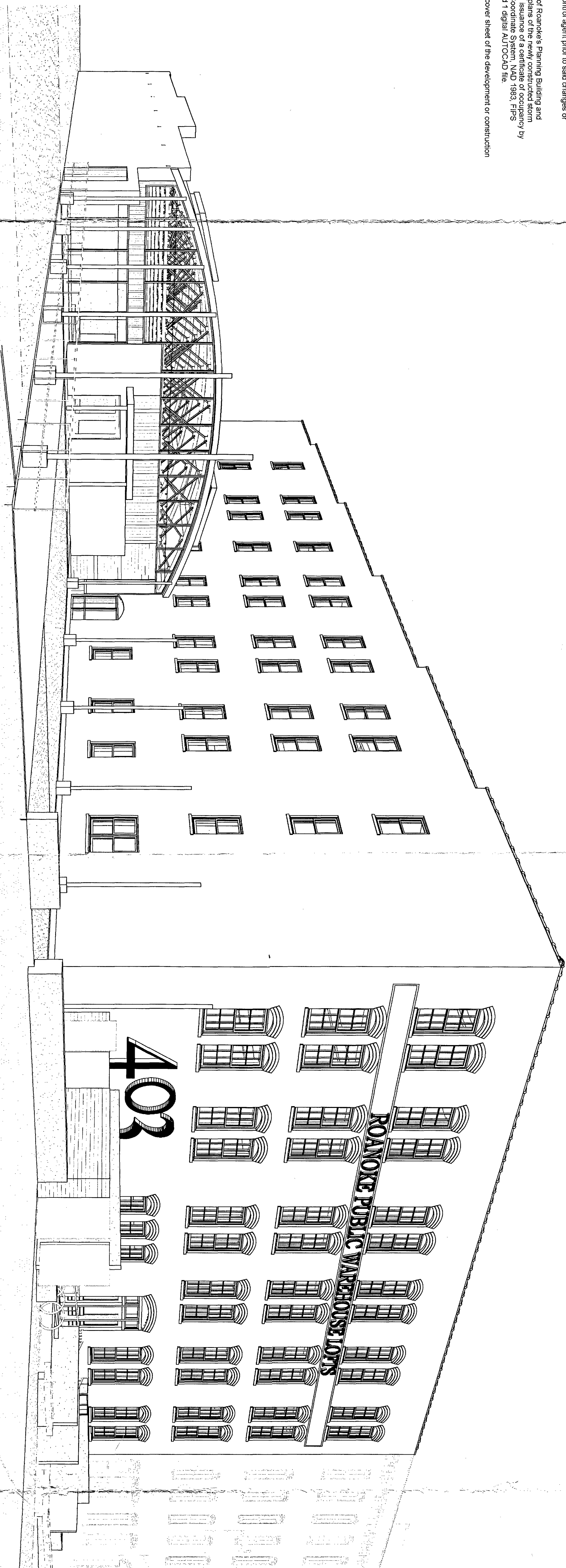
1. Right of Way Easement Permit - The City of Roanoke requires a permit for construction within the public right-of-way (streets, alleys, public easements) is a right-of-way easement permit shall be obtained by the contractor from the City of Roanoke.
2. Land Disturbance Permit - An approved erosion and sediment control plan for any borrow pits associated with the project must be submitted prior to the issuance of a land disturbance permit.
3. Plans and Permits - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
4. Location of Utilities - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
5. Construction Entrance - The contractor shall install an adequate construction entrance for all construction related equipment from the site. Size and composition of construction entrance shall be shown on the plans.
6. Streets to Remain Open - It shall be the responsibility of the contractor to ensure that the public street adjacent to the construction site remains open to traffic at all times. Any type of construction materials or other obstructions shall be removed from the street prior to the start of construction.
7. Public Safety - The contractor shall maintain the integrity of all existing sidewalks and street lighting and shall install temporary lighting and safety barriers to protect the public from construction activities.
8. Storm and Drainage Management - Construction activities shall be in accordance with the City of Roanoke's Storm and Drainage Management Ordinance and shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
9. Approved Plans/Construction Changes - Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said change or variation in construction being made.
10. Final Acceptance - The owner or developer shall furnish the City of Roanoke's Planning Building and main road status of the project. The City of Roanoke shall be responsible for the final acceptance of the project by a City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4602 Feet, US Survey Feet, Datum NAD 83, in the form of 1" paper copy and 1" digital AutoCAD file.

Note: The above City construction notes should be shown on the front or cover sheet of the development or construction plans.  
07/10

# 403 SALEM LLC

## 403 SALEM AVE

403 - 409 SALEM AVENUE SW  
ROANOKE, VA 24016  
TM#1010103 & TM#1010127



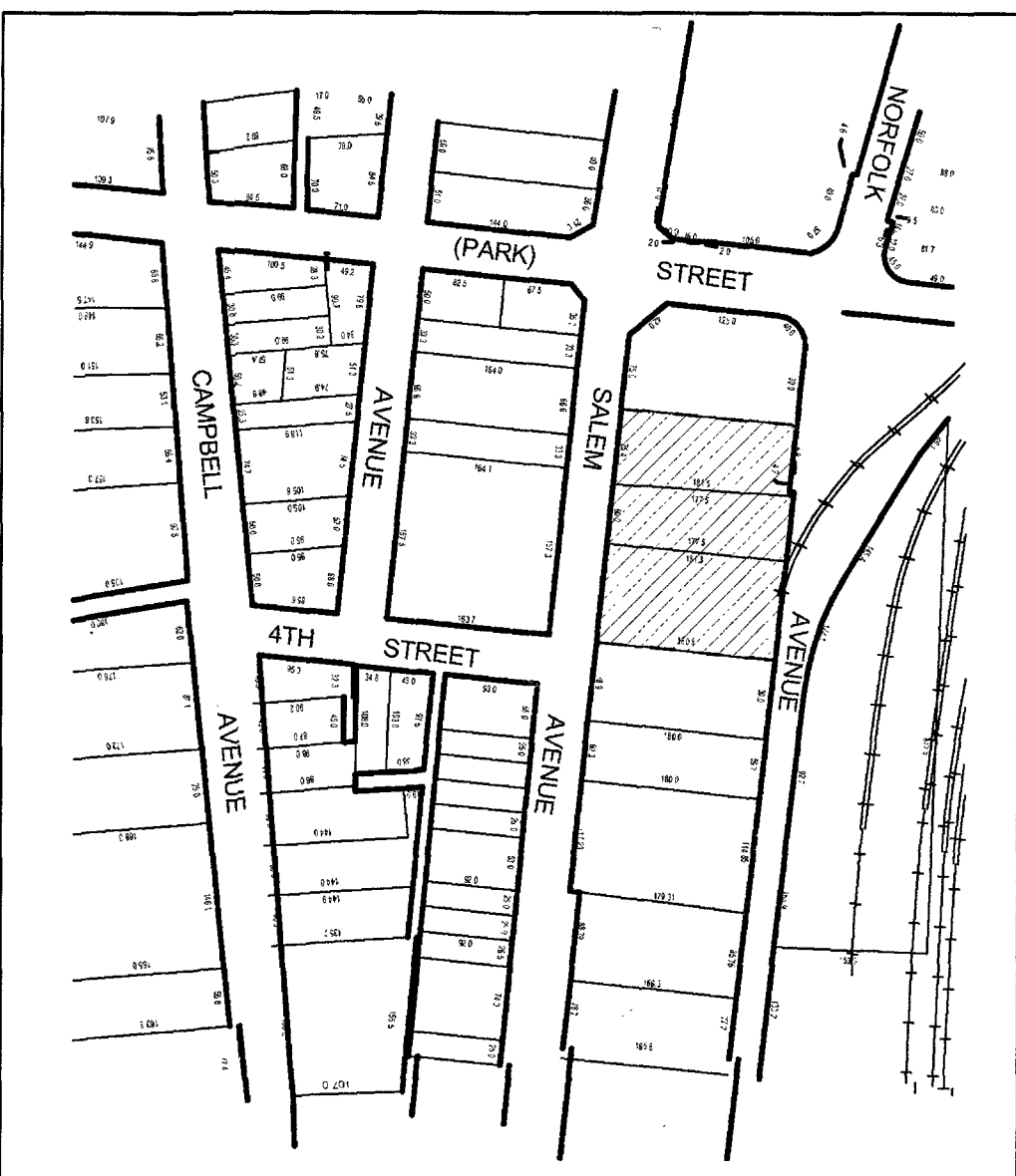
OWNER / CLIENT: 403 SALEM LLC  
415 OLIVER HILL WAY, SUITE 100  
RICHMOND, VA 23219  
PHONE: (804) 405-6789

ARCHITECT: BASKERVILL  
101 S. 15TH ST., SUITE 200 (23219)  
P.O. BOX 400  
RICHMOND, VA 23218-0400  
PHONE: (804) 343-1010  
FAX: (804) 343-0909  
CONTACT: ANGELO PHILLOS

MEP ENGINEER: BASKERVILL  
101 S. 15TH ST., SUITE 200 (23219)  
P.O. BOX 400  
CONTACT: TK FARLEIGH

CIVIL & STRUCTURAL ENGINEER: SPECTRUM DESIGN  
PLAZA SUITE 1, 10 CHURCH AVE, SE  
ROANOKE, VA 24011-2104  
PHONE: (540) 342-6001  
FAX: (540) 342-6055  
CONTACT: MIKE RAKES

### VICINITY MAP



### DRAWING INDEX

SHEET NO	SHEET TITLE	REV NO	REV DATE	SHEET NO	SHEET TITLE	REV NO	REV DATE	SHEET NO	SHEET TITLE	REV NO	REV DATE
G101	FIRST FLOOR LIFE SAFETY PLAN	1	08/25/16	A001	GENERAL DRAWING STANDARDS & NOTES			F001	SCHEDULES, LEGEND & DETAILS		
G102	SECOND FLOOR LIFE SAFETY PLAN	1	08/25/16	A002	VIRGINIA GENERAL ACCESSIBILITY STANDARDS			F002	FIRE PENETRATION DETAILS		
G103	THIRD FLOOR LIFE SAFETY PLAN	1	08/25/16	A003	PARTITION TYPES, DETAILS AND STANDARDS			F101	FIRST FLOOR PLAN - WASTE AND VENT PIPING	1	08/25/16
G104	FOURTH FLOOR LIFE SAFETY PLAN	1	08/25/16	A004	DOOR SCHEDULE, DOOR FRAME AND HANGWARE TYPES			F111	SECOND FLOOR - PLUMBING		
D101	FIRST FLOOR DEMOLITION PLAN			A005	APARTMENT DOOR SCHEDULE			F112	THIRD FLOOR - PLUMBING		
D102	SECOND FLOOR DEMOLITION PLAN			A006	WINDOW TYPES			F113	FOURTH FLOOR - PLUMBING		
D103	THIRD FLOOR DEMOLITION PLAN			A007	ARCHITECTURAL SITE PLAN			P101	ROOF PLAN - PLUMBING	1	08/25/16
D104	FOURTH FLOOR DEMOLITION PLAN			A008	ENLARGED SITE PLAN AND DETAILS			P102	ROOF PLAN - PLUMBING	1	08/25/16
C101	CONCRETE EXISTING CONDITIONS ONLY PLAN	3	08/18/16	A009	ENLARGED SITE PLAN AND DETAILS			P103	ROOF PLAN - PLUMBING	1	08/25/16
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C200	CONCRETE EXISTING CONDITIONS ONLY PLAN	3	08/18/16	A108	ENLARGED SITE PLAN AND DETAILS			P202	ROOF PLAN - PLUMBING	1	08/25/16
C201	CONCRETE EXISTING CONDITIONS ONLY PLAN	3	08/18/16	A109	ENLARGED SITE PLAN AND DETAILS			P203	ROOF PLAN - PLUMBING	1	08/25/16
C202	CONCRETE EXISTING CONDITIONS ONLY PLAN	3	08/18/16	A110	ENLARGED SITE PLAN AND DETAILS			P204			