

Filterra Standard Plan Notes

Construction & Installation

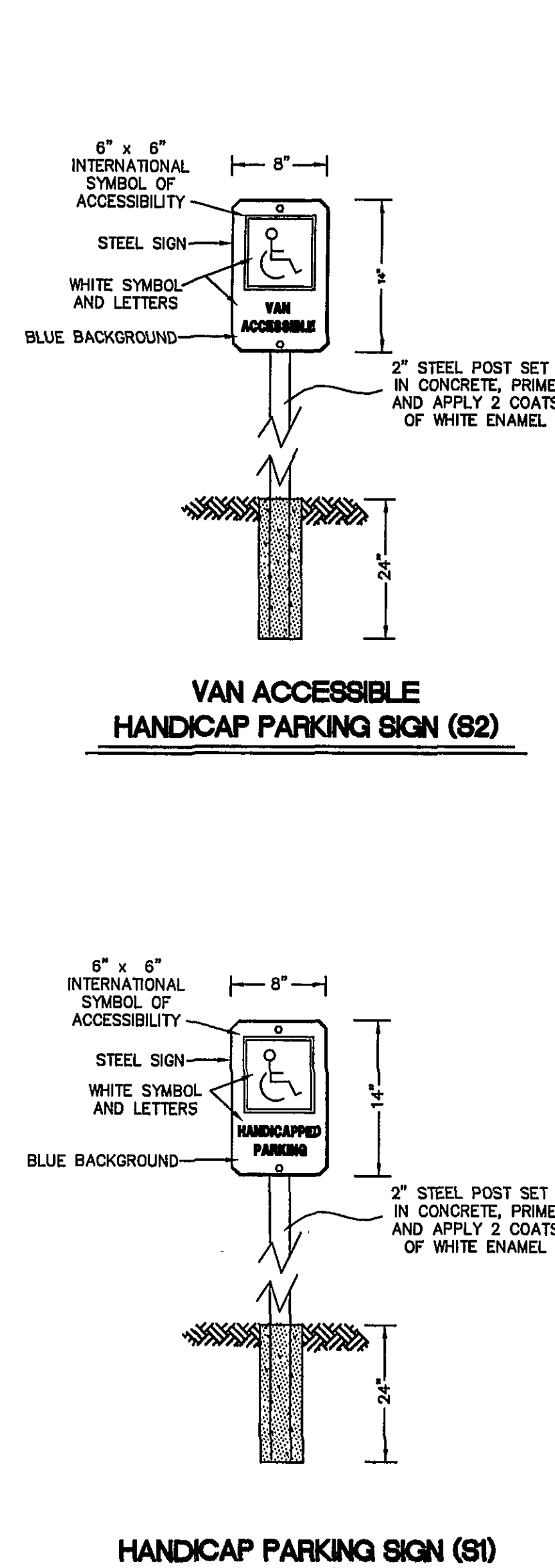
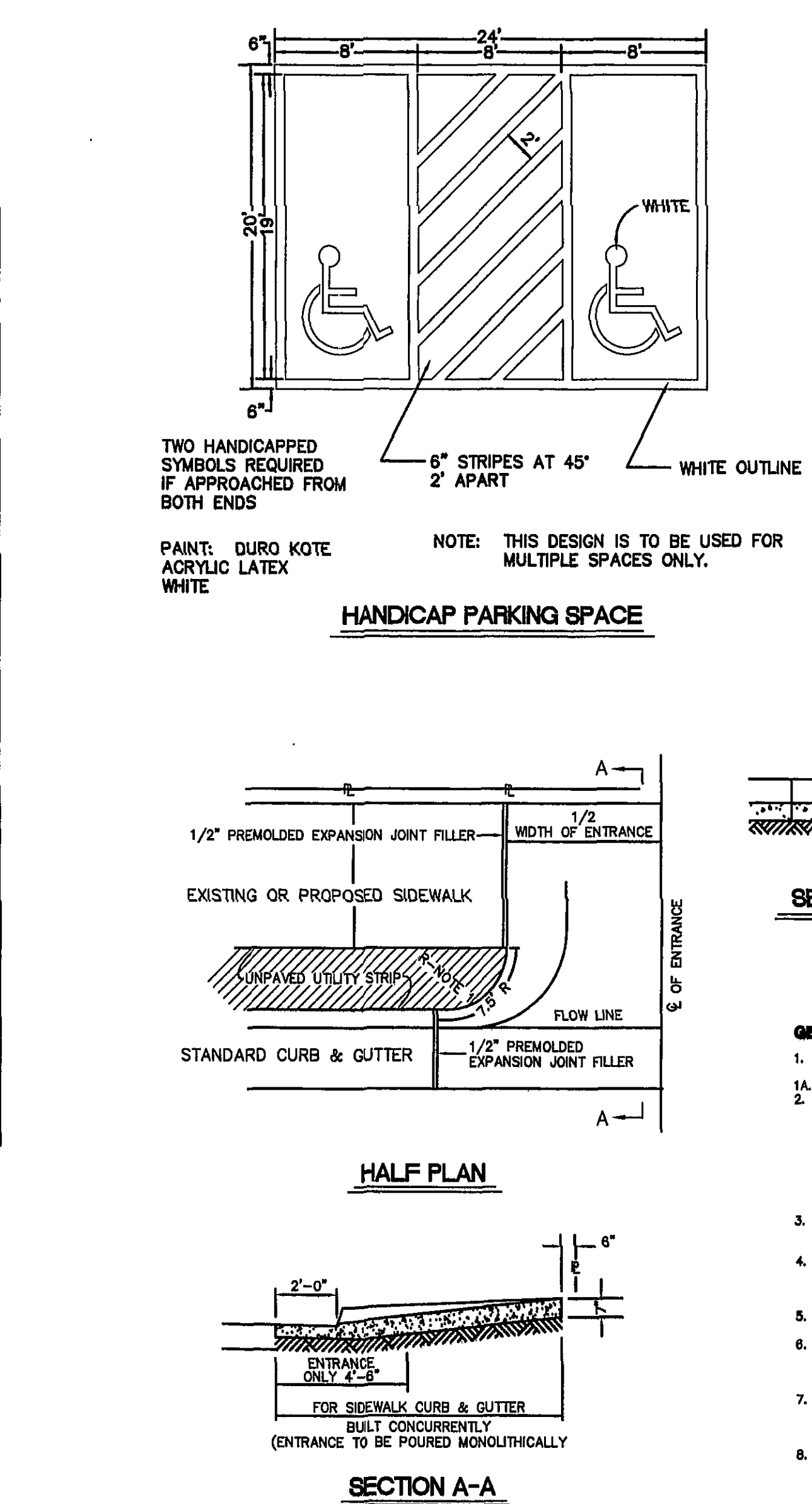
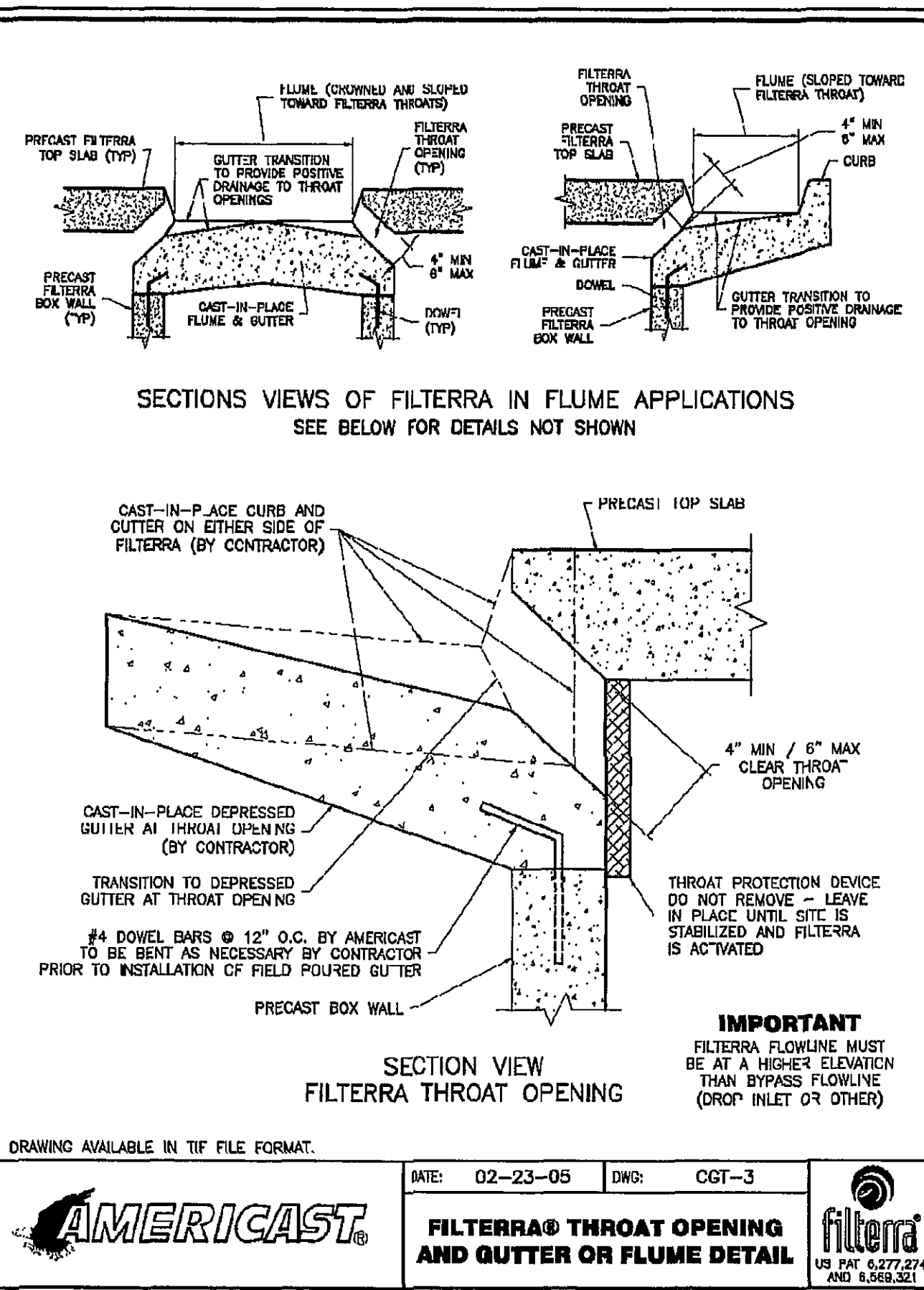
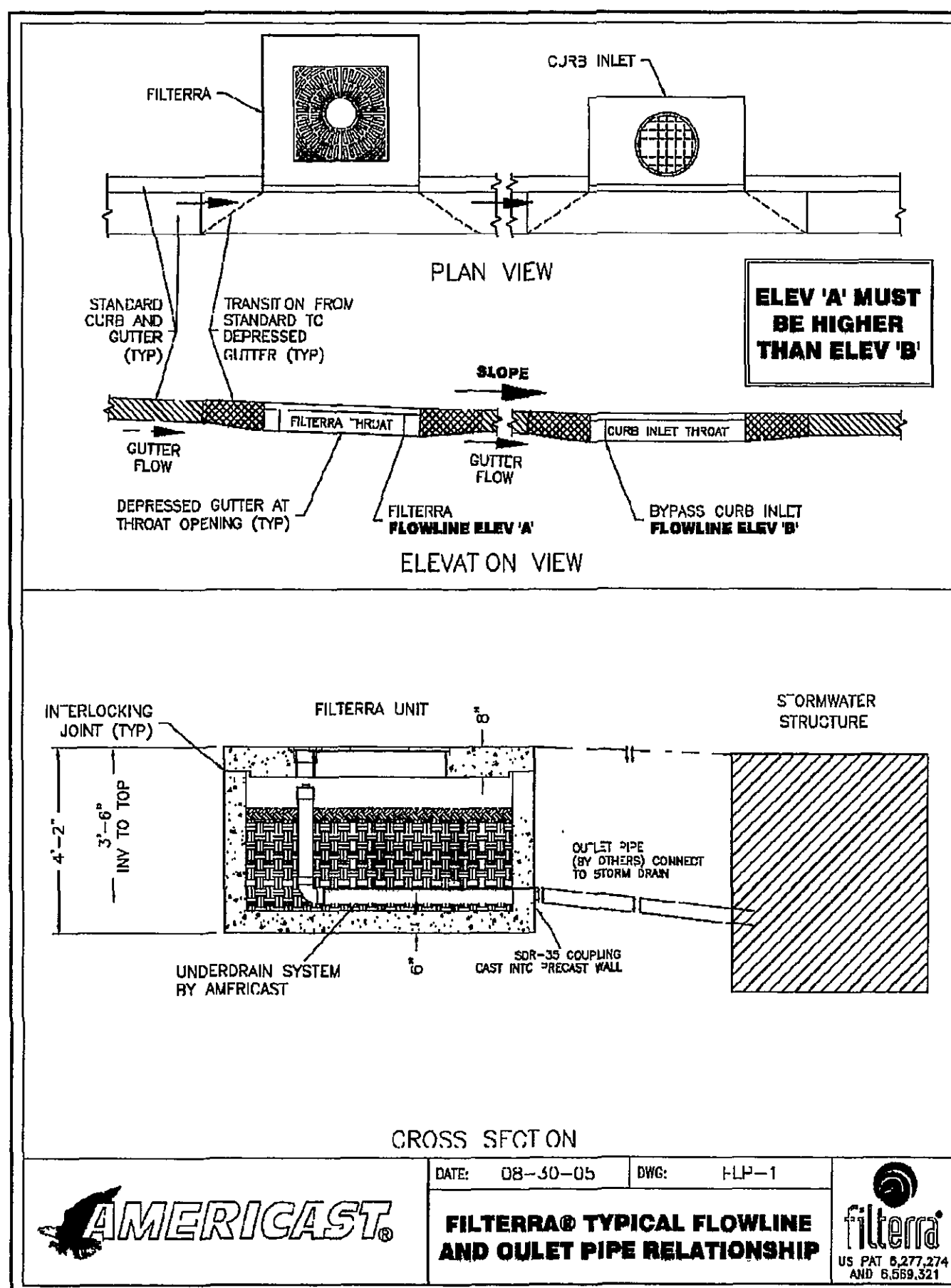
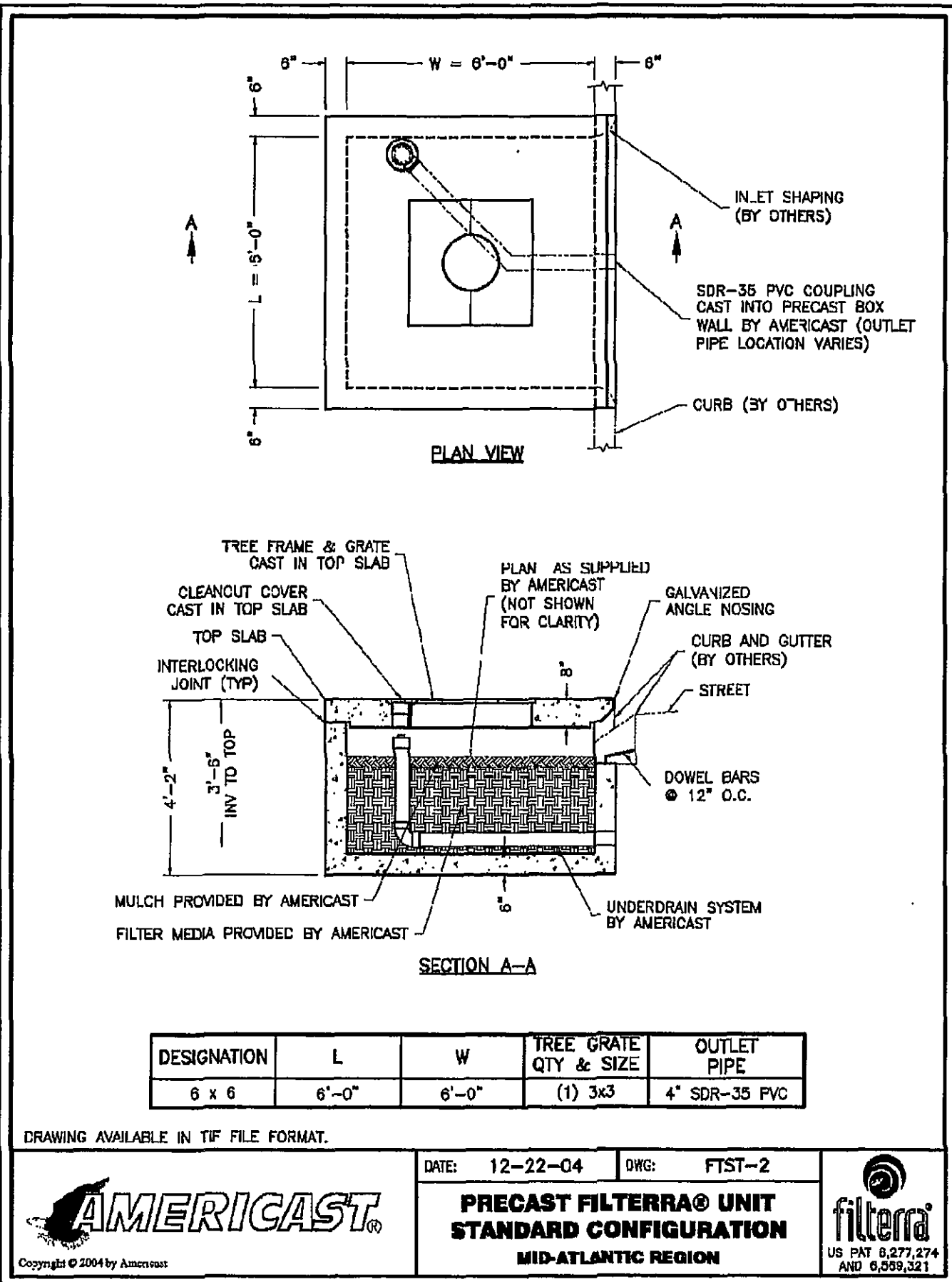
- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
- If the Filterra® is stored before installation, the top slab must be placed on the box using the 2x4 wood provided, to prevent any contamination from the site. All internal fittings supplied (if any), must be left in place as per the delivery.
- The unit shall be placed on a compacted sub-grade with a minimum 6-inch gravel base matching the final grade of the curb line in the area of the unit. The unit to be placed such that the unit and top slab match the grade of the curb in the area of the unit. Compact undisturbed sub-grade materials to 95% of maximum density at +1- 2% of optimum moisture. Unsuitable material below sub-grade shall be replaced to the site engineer's approval.
- Outlet connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions and local regulations.
- Once the unit is set, the internal wooden forms and protective mesh cover must be left intact. Remove only the temporary wooden shipping blocks between the box and top slab. The top lid should be sealed onto the box section before backfilling, using a non-shrink grout, butyl rubber or similar waterproof seal. The boards on top of the lid and boards sealed in the unit's throat must NOT be removed. The Supplier (Americast or its authorized dealer) will remove these sections at the time of activation. Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of Filterra® unit shall conform to ASTM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures", unless directed otherwise in contract documents.
- Curb and gutter construction (where present) shall ensure that the flow-line of the Filterra® units is at a greater elevation than the flow-line of the bypass structure or relief (drop inlet, curb cut or similar). Failure to comply with this guideline may cause failure and/or damage to the Filterra® environmental device.
- Each Filterra® unit must receive adequate irrigation to ensure survival of the living system during periods of drier weather. This may be achieved through gutter flow or through the tree grate.

Activation

- Activation of the Filterra® unit is performed ONLY by the Supplier. Purchaser is responsible for Filterra® inlet protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (full landscaping, grass cover, final paving and street sweeping completed), negating the chance of construction materials contaminating the Filterra® system. Care shall be taken during construction not to damage the protective throat and top plates.
- Activation includes installation of plant(s) and mulch layers as necessary.

Maintenance

- Each correctly installed Filterra® unit is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra® unit. Extended maintenance contracts are available at extra cost upon request.
- Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads including salts and sands. The fall visit helps the system by removing excessive leaf litter.
- Each maintenance visit consists of the following tasks.
 - Filterra® unit inspection
 - Foreign debris, silt, mulch & trash removal
 - Filter media evaluation and recharge as necessary
 - Plant health evaluation and pruning or replacement as necessary
 - Replacement of mulch
 - Disposal of all maintenance refuse items
 - Maintenance records updated and stored (reports available upon request)
- The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plant(s), which constitute(s) an integral part of the bioretention technology.



SITE AND ZONING TABULATIONS

CURRENT ZONING: CLS, CONDITIONAL (SEE PROFFERED CONDITIONS BELOW)
PROPOSED USE: RETAIL FURNITURE STORE
TOTAL SITE ACREAGE: 10.671 ACRES
PROJECT ACREAGE: 5.385 ACRES
MAXIMUM IMPERVIOUS AREA RATIO: 80%
PROPOSED IMPERVIOUS AREA RATIO: 68.6%
MAXIMUM HEIGHT: NONE, EXCEPT 1' HEIGHT PER FOOT OF SETBACK WHERE ADJOINING RESIDENTIAL ZONING DISTRICTS
REQUIRED YARDS:
FRONT: 20' MINIMUM
REAR: 25' MINIMUM
SIDE YARD: 25' MINIMUM
MAXIMUM FLOOR AREA RATIO: 5.0
PROPOSED FLOOR AREA RATIO: 0.23

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT CITY OF ROANOKE TAX ASSESSMENT MAP # 6450101
- OWNER/DEVELOPER: SCHEWEL FURNITURE COMPANY
P.O. BOX 6120
LYNCHBURG, VA 24505
(434) 522-0279
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW BY SCREENING FENCE (SEE DETAIL SHEET 6, THIS PLAN SET) OR LANDSCAPED WITH EVERGREEN SHRUBS PLANTED AT 3' ON CENTER OR LESS.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED SO THAT NO MORE THAN 1/2 OF THE EQUIPMENT IS VISIBLE FROM ANY ADJACENT PUBLIC STREET OR FROM THE SAME GROUND ELEVATION OF AN EXISTING BUILDING ON AN ADJACENT LOT.

PARKING

FURNITURE/LARGE APPLIANCE STORE - 1 PER 1,500 SF SHOWROOM AREA
1,500 - 27 SPACES
WAREHOUSE SPACE - 0.5 PER 1,000 SF + 1 PER 2 EMPLOYEES
0.5 X (15,000 / 1,000) + (40 / 2) = 28 SPACES
TOTAL PARKING SPACES REQUIRED: 55 SPACES
PARKING SPACES PROVIDED: 78 NEW ASPHALT SPACES (INCLUDES 5 HANDICAP SPACES)
8 EXISTING ASPHALT SPACES
41 NEW PAVED SPACES
TOTAL SPACES PROVIDED: 125 SPACES

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR STORM DRAINAGE DETAILS.
- THE CONTRACTOR SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- HDPE PIPE MATERIAL SHALL BE ADS N-12 OR APPROVED EQUAL.
- THE CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FOR RETAINING WALL CONSTRUCTION.

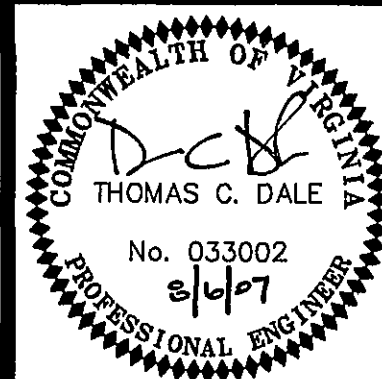
GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION FOR GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN SIX (6) INCHES DIAMETER.
- FILL MATERIAL SHALL BE PLACED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MOISTURE CONTENT OF FILL MATERIAL SHALL BE MAINTAINED WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. DESIGNING ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

PROFFERED CONDITIONS: ORDINANCE NO. 57742-04807

- The site will be developed in substantial conformity with the Development Plan entitled, "Schewels Furniture Store, Hershberger Site" dated March 14, 2007, and prepared by Lumsden Associates, P.C.
- The exterior treatment of all buildings on the property shall have consistent use of architectural detail and materials on all four sides of the building.
- The following shall be the only permitted uses on Official Tax No. 6450101:
Retail sales establishment.
Eating establishment.
Eating and drinking establishment.
Entertainment establishment.
Financial institution.
General or professional office.
- There will be no more than a total of two (2) ingress/egress points on Farnhill Avenue for the subject property. Each point of ingress/egress shall be separated by at least 440 feet from other points of ingress/egress.
- Development of the Schewels Furniture Store and Future Development as identified on the Development Plan attached as Exhibit A, in addition to Retail Building A and the 0.98 Out-Parcel as identified on the Development Plan adopted by Ordinance No. 33658-120197 entitled "The Home Depot Roanoke, VA, Hershberger Road & Farnhill Ave.", last revised November 7, 1997 and prepared by Greenberg Farrow Architecture Incorporated attached as "Exhibit B", shall be permitted from a traffic standpoint provided the total square footage of development of the property does not exceed 135,500 square feet. In the event development of the property exceeds 135,500 square feet, no such additional development shall be permitted until such time as the Petitioner, its successors and assigns, have satisfied the requirements of the City Traffic Engineer and the Virginia Department of Transportation for all road improvements required by such additional development.

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



NOTES AND DETAILS

SCHEWELS FURNITURE STORE
PREPARED FOR
SCHEWEL FURNITURE COMPANY
THE CITY OF ROANOKE, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: August 6, 2007

SCALE: NO SCALE

COMMISSION NO: 06-034

SHEET 2 OF 9