

1. A PLAT HAS BEEN PREPARED WITH THE BENEFIT OF TITLE COMMITMENT #NCS-1027609-PITT.
2. A PORTION OF THE AREA SHOWN HEREON IS LOCATED WITHIN FLOOD HAZARD ZONE 'A' FOR A 100 YEAR FLOOD AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON COMMUNITY-PANEL MAP 51161C0167G DATED 09-28-2007. THE APPROXIMATE LIMITS OF FLOOD HAZARD ZONE 'A' ARE SHOWN HEREON BY GRAPHIC SCALING ONLY.
3. UNDERGROUND UTILITIES WERE MARKED BY THE FOLLOWING MISS UTILITY TICKETS. TICKET #: A023702250-00A

UTILITY	RESPONSE
APPALACHIAN POWER	MARKED
COMCAST	NO CONFLICT
COX COMMUNICATIONS	MARKED
LEVEL 3	NO CONFLICT
ROANOKE GAS	MARKED
ROANOKE CITY-SIGNAL	NO CONFLICT
VERIZON	MARKED
WESTERN VA -WTR&SWR	MARKED UP TO PRIVATELY OWNED

KNOW ALL MEN BY THESE PRESENTS TO WIT:

THAT SHEETZ, INC. IS THE FEE SIMPLE OWNER OF THE LAND SHOWN HEREON BOUNDED BY CORNERS 4001 TO 4022 TO 4001, INCLUSIVE, AND IS ALL OF THE LAND CONVEYED TO SAID OWNER BY DEED RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VA IN INSTRUMENT #210016647.

THAT SHEETZ, INC. IS THE FEE SIMPLE OWNER OF THE LAND SHOWN HEREON BOUNDED BY CORNERS 4011 TO 4027 TO 4028 TO 4020 TO 4012 TO 4011, INCLUSIVE, AND IS ALL OF THE LAND CONVEYED TO SAID OWNER BY DEED RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VA INSTRUMENT #210016647

THE PLATTING OR DEDICATION OF THE LAND SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS AS REQUIRED BY SECTION 15.2-2240 THROUGH 15.2-2279 OF THE CODE OF VIRGINIA (1950) AS AMENDED, AND THE SUBDIVISION ORDINANCE OF THE CITY OF ROANOKE, VIRGINIA AS AMENDED.

OWNER [Signature] TITLE

COMMONWEALTH AT LARGE TO WIT:  
STATE OF VIRGINIA  
COUNTY OF Blair  
I, Alissa Morgret, A  
NOTARY PUBLIC IN AND FOR THE STATE  
AFORESAID, DO HEREBY CERTIFY THAT THE  
OWNER:  
Steven P. Augustine V.P. Stone Development  
(NAME) (TITLE)  
IS SIGNED HEREON HAS ACKNOWLEDGED THE  
SAME BEFORE ME THIS 18th DAY OF  
January, 2022. MY COMMISSION  
EXPIRES: 10-23-2024  
Alissa Morgret  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
Alissa Morgret, Notary Public  
Blair County  
My commission expires October 23, 2024  
Commission number 1384847  
Member, Pennsylvania Association of Notaries

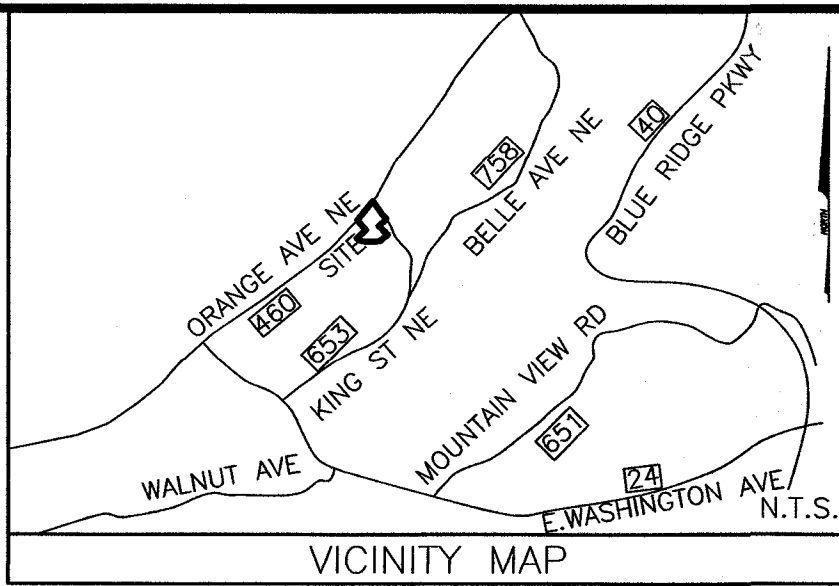
SUBDIVISION APPROVED: [Signature] 1/27/22  
SUBDIVISION AGENT  
[Signature] 1/27/2022  
CITY ENGINEER

**DEDICATION OF EASEMENTS TO THE CITY FOR PUBLIC USE:**  
THE ABOVE DESCRIBED OWNER BY VIRTUE OF THE RECORDATION OF THIS PLAT DEDICATES TO THE CITY OF ROANOKE THOSE CERTAIN AREAS SHOWN ON THE PLAT AS SET APART FOR USE AS PUBLIC EASEMENTS.

**DEDICATION OF PUBLIC STREETS OR OTHER PURPOSES:**  
THE ABOVE DESCRIBED OWNER BY VIRTUE OF THE RECORDATION OF THIS PLAT DEDICATES TO THE CITY OF ROANOKE IN FEE SIMPLE TITLE, THE LAND SHOWN HEREON AS SET APART FOR PUBLIC STREETS.

LEGEND	
IPF	IRON PIN FOUND
Δ	UTILITY POLE
○	CONTROL POINT
○	COMPUTED POINT
⊙	SANITARY SEWER MANHOLE
⊙	STORM MANHOLE
⊙	WATER MANHOLE
⊙	ELECTRIC MANHOLE
OU	OVERHEAD UTILITY
SS	UNDERGROUND SANITARY SEWER
G	UNDERGROUND GAS LINE
W	UNDERGROUND WATERLINE
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
UG CTV	UNDERGROUND CATV
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	ELECTRIC METER
⊕	GAS VALVE
*	LIGHT POLE
—	EDGE OF PAVEMENT
—○—	CHAIN LINK FENCE
TC	TERRA COTTA
RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON
FF	FINISHED FLOOR
TW	TOP OF WALL
BW	BOTTOM OF WALL
RD	ROOF DRAIN
■	CONCRETE
■	UTILITY EASEMENT
■	ACCESS EASEMENT
■	STORM WATER MANAGEMENT EASEMENT

Point	Northing	Easting
4001	3635846.253	11077866.951
4002	3635795.270	11077905.694
4003	3635650.885	11077671.809
4004	3635390.059	11077833.338
4005	3635279.830	11077654.810
4006	3635386.686	11077273.043
4007	3635465.938	11077370.818
4008	3635485.416	11077402.452
4009	3635725.018	11077254.501
4010	3635810.916	11077324.787
4011	3635904.560	11077404.628
4012	3635854.081	11077404.260
4013	3635842.649	11077417.044
4014	3635898.224	11077466.736
4015	3635910.186	11077486.181
4016	3635908.043	11077559.213
4017	3635966.233	11077701.148
4018	3635999.698	11077715.787
4019	3636022.903	11077722.838
4020	3636046.834	11077726.271
4021	3636013.626	11077749.084
4022	3636018.828	11077757.654
4023	3635612.983	11077695.281
4024	3635588.312	11077655.213
4025	3635549.906	11077515.303
4026	3635760.411	11077385.424
4027	3635952.758	11077447.088
4028	3636158.155	11077649.796



**SURVEYOR'S ACKNOWLEDGMENT STATEMENT**

THIS PLAT IS BASED ON CURRENT FIELD SURVEY AS PER DATE LISTED HEREON

**LOT BOUNDARY CHANGES SUMMARY:**

THIS PLAT SUBDIVIDES EXISTING TAX PARCEL NO. 7090510, BEING ORIGINAL TRACT B-1 (6.9596 ACRES) AND COMBINES EXISTING TAX PARCEL NO. 7090511, BEING ORIGINAL TRACT C-1 (0.9610 ACRES) AND CREATES HEREON TRACT B-1A (4.0034 ACRES), TRACT B-1B (3.7554 ACRES) AND DEDICATES RIGHT OF WAY FOR THE EXPANSION OF KING STREET NE (0.1617 ACRES)

**NEW UTILITY EASEMENTS**

L11	N 39°57'44" E	24.42'
L12	S 50°09'31" E	15.00'
L13	N 40°07'58" E	10.00'
L14	N 50°09'31" W	15.00'
L15	S 32°20'50" E	153.98'
L16	S 55°30'43" W	20.00'
L17	S 34°29'17" E	20.00'
L18	N 55°30'43" E	20.00'

**STORM WATER MANAGEMENT EASEMENT**

L19	S 34°29'17" E	20.02'
L20	S 58°03'36" W	112.71'
L21	N 31°37'16" W	45.17'
L22	S 58°22'44" W	18.67'
L23	N 31°37'16" W	112.80'
L24	N 58°22'44" E	67.27'
L25	S 31°37'16" E	112.80'
L26	S 58°22'44" W	28.60'
L27	S 31°37'16" E	25.06'
L28	N 58°03'36" E	91.71'

**ACCESS EASEMENT**

L29	N 40°22'14" E	106.87'
L30	S 49°14'05" E	37.00'
L31	S 03°17'12" E	61.22'
L32	S 40°41'53" W	61.53'
L33	N 50°12'34" W	30.00'
L34	N 40°41'53" E	49.90'
L35	N 02°07'48" W	35.69'
L36	N 49°14'55" W	25.28'

**BOUNDARY CALLS**

LINE	BEARING	DISTANCE
L1	S 08°09'45" W	24.18'
L2	S 16°54'11" W	24.25'
L3	S 23°37'34" W	36.53'
L4	N 88°19'10" W	73.06'
L5	S 58°24'04" W	22.83'
L6	S 41°48'05" W	74.55'
L7	N 48°11'55" W	17.15'
L8	N 00°25'04" E	50.48'
L9	S 32°20'50" E	204.27'
L10	S 37°13'57" E	64.03'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
C1	1°05'58"	5784.58'	110.99'	N 39°17'30" E	110.99'	55.50'
C2	1°13'08"	5784.58'	123.06'	N 40°27'03" E	123.06'	61.53'
C3	0°38'10"	5784.58'	64.23'	N 41°22'42" E	64.23'	32.12'
C4	94°28'14"	270.00'	445.18'	N 74°21'47" W	396.44'	291.93'

**PLAT OF SURVEY FOR  
SHEETZ, INC.**

SUBDIVIDING TRACT B-1 (TAX NO. 7090510, 6.9596 ACRES) AND COMBINING TRACT C-1 (TAX NO. 7090511, 0.9610 ACRES) HAMMOND-FRITH SUBDIVISION, MAP OF JAG ENTERPRISES, LLC & BRANCH/KRW, LLC, MB 1 PG 2788 & 2789 CREATING LOTS HEREON TRACT B-1A (4.0034 ACRES) & B-1B (3.7554 ACRES), AND DEDICATING A 20' BY 20' PUBLIC UTILITY EASEMENT AND A 10' BY 15' PUBLIC UTILITY EASEMENT, AND DEDICATING A STRIP OF LAND FOR EXPANSION OF KING STREET NE RIGHT OF WAY (0.1617 ACRES) SITUATED ON THE INTERSECTION OF ORANGE AVENUE NE AND KING STREET NE  
CITY OF ROANOKE, VIRGINIA

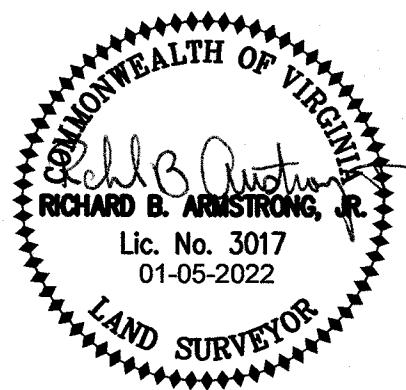
THE RECORDATION OF THIS PLAT OF SUBDIVISION DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND SHOWN HEREON THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY DEED AND SAID DEED MUST BE RECORDED IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF THE CITY OF ROANOKE.

**3353 ORANGE AVENUE NE  
ROANOKE, VA.**

DATE: 02-18-2021  
SCALE: 1" = 50'  
SHEET: 1 OF 2  
REVISED: 01-05-2022  
PROJECT #200159



GLADE CREEK  
STATION II, LP  
INST. 000014972  
TAX #7090506



SHEETZ, INC.  
TRACT B-1  
TAX #7090510  
INST. #210016647  
6.9596 ACRES

TRACT B-1B  
3.7554 ACRES

YOGI ASSOCIATES, LLC  
INST. 060012038  
DB 1770 PG 1506 (PLAT)  
TAX #7090508

YOGI ASSOCIATES, LLC  
INST. 060012038  
DB 1770 PG 1506 (PLAT)  
TAX #7090508

5' WIDE SCREEN AREA  
FOR FUTURE PLANTING AS  
REQUIRED BY CITY OF ROANOKE

LOCATION OF FORMER  
30' RIGHT OF WAY  
ALSO KNOWN AS  
HIGHLAND ROAD

LOT 14  
TAYLOR HOUSE, LLC  
INST. 990014034  
TAX #7090514

PLAT OF SURVEY FOR  
**SHEETZ, INC.**  
SUBDIVIDING TRACT B-1 (TAX NO. 7090510, 6.9596 ACRES) AND COMBINING TRACT C-1 (TAX NO. 7090511, 0.9610 ACRES) HAMMOND-FRITH SUBDIVISION, MAP OF JAG ENTERPRISES, LLC & BRANCH/KRW, LLC, MB 1 PG 2788 & 2789 CREATING LOTS HEREON TRACT B-1A (4.0034 ACRES) & B-1B (3.7554 ACRES), AND DEDICATING A 20' BY 20' PUBLIC UTILITY EASEMENT AND A 10' BY 15' PUBLIC UTILITY EASEMENT, AND DEDICATING A STRIP OF LAND FOR EXPANSION OF KING STREET NE RIGHT OF WAY (0.1617 ACRES) SITUATED ON THE INTERSECTION OF ORANGE AVENUE NE AND KING STREET NE  
CITY OF ROANOKE, VIRGINIA

TRACT B-1A  
4.0034 ACRES

30'X50' EASEMENT FOR  
BELL ATLANTIC  
INST. 000002785  
20' WIDE UTILITY  
EASEMENT  
INST. 000002785

LOT 13  
TAYLOR HOUSE, LLC  
INST. 990014034  
TAX #7090513

SHEETZ, INC.  
TRACT B-1  
TAX #7090510  
INST. #210016647  
6.9596 ACRES

1-STORY METAL  
GENERATORS  
(2) WOOD PRIVACY  
GRAVEL  
VINYL  
TRANSFORMER

NEW 20'X20'  
PUBLIC  
UTILITY  
EASEMENT

NEW 10'X15'  
PUBLIC UTILITY  
EASEMENT

1-STORY BRICK & CINDER  
BLOCK BUILDING  
#3353  
\*TO BE DEMOLISHED

15" RCP  
FILLED WITH DEBRIS  
ON BOTH ENDS

30' WIDE NON-EXCLUSIVE,  
PRIVATE INGRESS/EGRESS  
EASEMENT ACROSS  
EXISTING ENTRANCE  
TO BE VACATED

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PRIVATE INGRESS/EGRESS  
EASEMENT ACROSS  
EXISTING ENTRANCE  
TO BE VACATED

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TO BE VACATED

30' WIDE NON-EXCLUSIVE,  
PRIVATE INGRESS/EGRESS  
EASEMENT ACROSS  
EXISTING ENTRANCE  
TO BE VACATED

ORANGE AVENUE NE  
US HWY 460  
E.B.L.  
VARIABLE WIDTH R/W

PROPOSED  
RIGHT-OF-WAY  
DEDICATION

REBAR W/CAP  
MAG NAIL  
CPP

REBAR W/CAP  
MAG NAIL  
CPP

REBAR W/CAP  
MAG NAIL  
CPP

REBAR W/CAP  
MAG NAIL  
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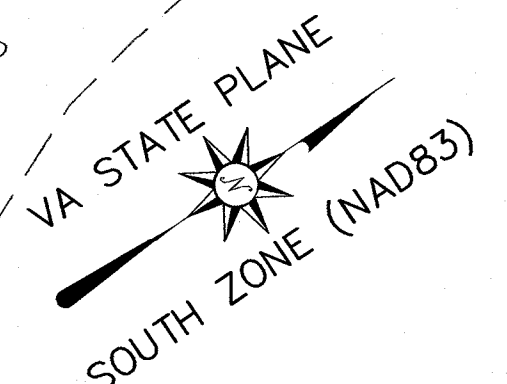
REBAR W/CAP  
MAG NAIL  
CPP

REBAR W/CAP  
MAG NAIL  
CPP

0 50 100 150

**3353 ORANGE AVENUE NE  
ROANOKE, VA.**

DATE: 02-18-2021  
SCALE: 1" = 50'  
SHEET: 2 OF 2  
REVISED: 01-05-2022  
PROJECT #200159



SU21-0028