

SITE STATISTICS:

Tax Numbers: 77.20-01 (02,17,22,21,24,20,18,19,23,25,14,11,10,55,54,4,3,52)
87.08-03-11
Parcel Total Area: 53.07 Acres
Zones: C2, C2C, R3
Proposed Use: Commercial
Proposed Units: Unknown at this time
Water: Public - WVWA
Sewer: Public - WVWA

For specific requirements for each of the Zones, see Drawing C03

Note: See Proffers contained herein. They may supercede these zoning requirements.

SITE DEVELOPMENT PLAN

TO INCLUDE GRADING, ROAD DESIGN, STORM SEWER, SANITARY SEWER, & WATER LINE ONLY

FOR
INTEGRA, LLC

SLATE HILL ROANOKE COUNTY, VA

April 7, 2006

Revised August 8, 2006

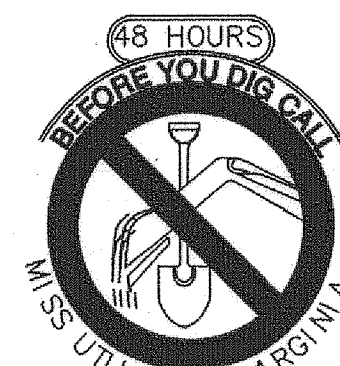
Revised October 20, 2006

Revised December 8, 2006

Revised January 12, 2007

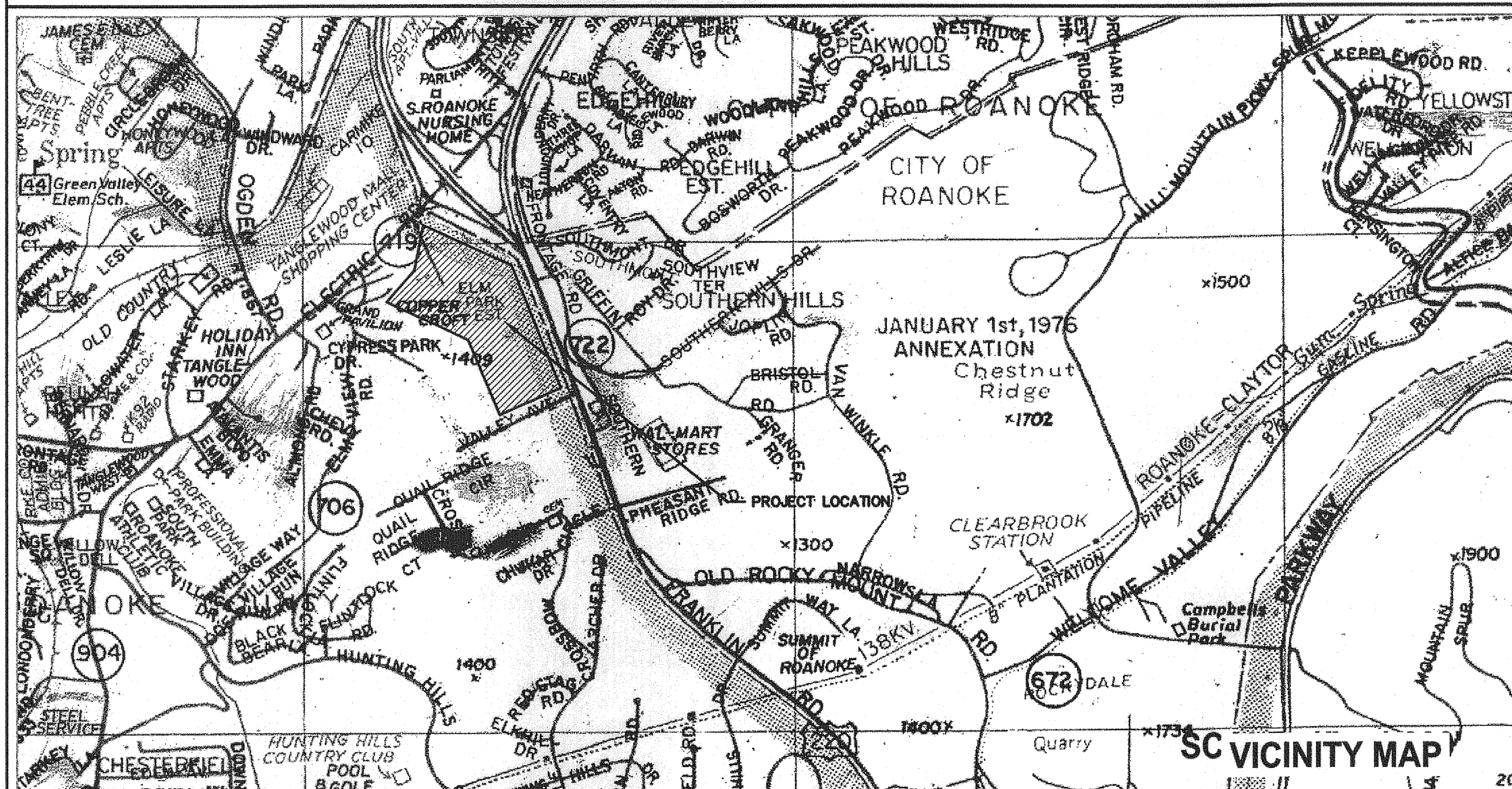
Revised March 2, 2007

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN
VIRGINIA! CALL 1-800-552-7001
VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY		
Department		Date
Development Review	LD	1/30/08
Engineering	MC	1/30/08
Water & Sewer	RRB	1/31/08
Planning & Zoning	JCW	1/31/08



CONTACT INFORMATION:

Engineer: Parker Design Group, Inc.
816 Boulevard
Salem, Virginia 24153
540-387-1153 FAX 540-389-5767
Contact: Gregory S. Taylor, P.E.

Surveyor: Lumsden Associates, LLC
4664 Brambleton Avenue
Roanoke, Virginia
540-774-4411 FAX 540-772-9445

Owner: Integra, LLC
4415 Pheasant Ridge Road, SW, Suite 303
Roanoke, Virginia 24014
540-769-5337 FAX 540-797-5659

OWNER'S STATEMENT:

LOCAL APPROVALS:

LEGEND:

	CONCRETE		YARD LIGHT (S.M.H.)		EX. POWER POLE
	ASPHALT PAVING		TYPICAL YARD HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. FIRE HYDRANT		EX. TELEPHONE PEDESTAL
	GRAVEL		PROP. AIR RELEASE VALVE		EX. LIGHT POLE
	PAVERS		PROP. GATE VALVE		BENCHMARK
	WETLAND AREA		PROP. BLOW OFF VALVE		
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	OHE - EXIST. OVERHEAD POWER		PROP. STORM SEWER LINE		
	W - EXIST. WATER LINE		PROP. CONTOURS		
	C - EXIST. OVERHEAD CABLE		EXIST. 2' CONTOURS		
	EXIST. CENTERLINE OF ROAD		EXIST. 10' CONTOURS		
	EXIST. STORM SEWER		PROP. SPOT ELEVATION		
	SAN - EXIST. SANITARY SEWER		SILT FENCE		
	UE - PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	UG - PROP. UNDERGROUND ELEC. SERVICE		RESOURCE MANAGEMENT AREA BOUNDARY		
	W - PROP. WATERLINE		RESOURCE PROTECTION AREA BOUNDARY		
	A - PROP. AUDIO CABLE		DITCH LINE		
	EXIST. TREE LINE				
	EXIST. EDGE OF PAVEMENT				

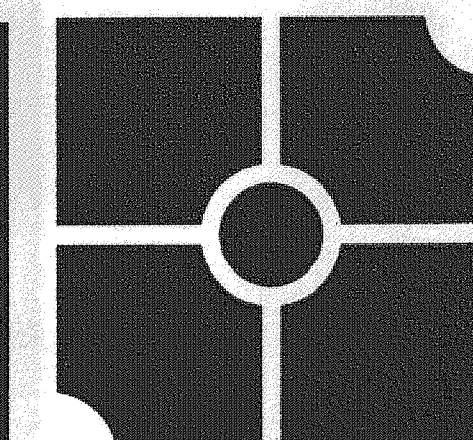
GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with Roanoke County standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Unused
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and radii referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- Unused
- All utilities will be visually inspected by the County's inspector prior to backfilling the trenches, including all utility crossings.
- Unused
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing Roanoke County mapping.
- All utilities to be maintained by the County shall be within the dedicated rights-of-way or easements.
- A field review shall be made by Roanoke County during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the County.
- Unused
- Unused
- Proposed signage shall be permitted separately in accordance with Roanoke County regulations.
- The contractor or developer is required to notify Roanoke County Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
- B. Clearing and grubbing
- C. Subgrade excavation
- D. Installing storm sewers or culverts
- E. Placing gravel base
- F. Placing any roadway surface
- G. Installing water lines
- H. Installing sanitary sewer lines

- A pre-construction conference should be scheduled with Roanoke County Engineering Division, to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the fill area before placing embankment.
- Unused
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- Unused
- Field corrections shall be approved by Roanoke County Engineering Division prior to such construction.
- 100 year floodway and floodplain information shall be shown where applicable.
- Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.

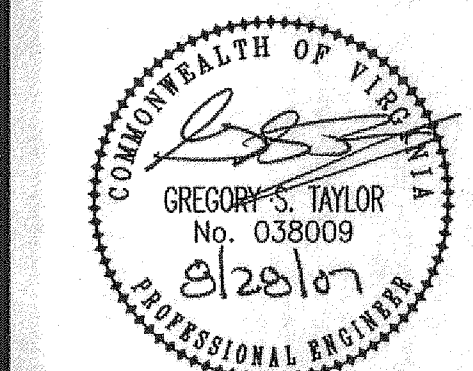
C01	COVER SHEET
C02	COUNTY COVER SHEET
C03	MISC NOTES
C04	EXISTING CONDITIONS & DEMOLITION PLAN
C05	OVERALL PLAN
C06	PARTIAL SITE PLAN A
C07	PARTIAL SITE PLAN B
C08	PARTIAL SITE PLAN C
C08A	PARTIAL SITE PLAN C WITH LOWES COMMENTS
C09	ROUTE 419 ENTRANCE DETAILS
C10	ROUTE 419 ENTRANCE PROFILE
C11	WALL DETAILS
C12	WALL DETAILS
C13	ROAD PROFILES
C14	ROAD PROFILES
C15	ROAD PROFILES
C16	ROAD CROSS SECTIONS
C17	ROAD CROSS SECTIONS
C18	ROAD CROSS SECTIONS
C19	ROAD CROSS SECTIONS
C20	ROAD CROSS SECTIONS
C21	ROAD CROSS SECTIONS
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C39	ROAD CROSS SECTIONS
C40	ROAD CROSS SECTIONS
C41	ROAD CROSS SECTIONS
C42	ROAD CROSS SECTIONS
C43	ROAD CROSS SECTIONS
C44	STORM SEWER PROFILES
C45	STORM SEWER PROFILES
C46	STORM SEWER PROFILES
C47	STORM SEWER PROFILES
C48	STORM SEWER PROFILES
C49	STORM SEWER PROFILES
C50	STORM SEWER PROFILES
C51	STORM SEWER PROFILES
C52	SANITARY SEWER PROFILES
C53	SANITARY SEWER PROFILES
C54	MISCELLANEOUS WATER DETAILS
C55	MISCELLANEOUS SEWER DETAILS
C56	EROSION & SEDIMENT CONTROL DETAILS
C57	MISCELLANEOUS ROAD DETAILS
C58	MISCELLANEOUS DETAILS
C59	MISCELLANEOUS DETAILS & WATERLINE PROFILE
L01	MISCELLANEOUS LANDSCAPE DETAILS



parker
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Site Development Plan
Prepared for Slate Hill II, LLC
Cave Spring Magisterial District
Roanoke, Virginia

REVISIONS:	
County & VDOT Comment Revision	August 8, 2006
County & VDOT Comment Revision	October 20, 2006
County WVA & VDOT Revisions	December 8, 2006
County WVA & VDOT Revisions	January 12, 2007
County WVA & VDOT Revisions	March 2, 2007
Added Dwg C08A for Lowes Comments	August 22, 2007

DESIGNED BY:	GST
DRAWN BY:	GST
CHECKED BY:	SRB
SCALE:	As Shown
DATE:	April 7, 2006

SHEET TITLE:

Cover Sheet

C01
01 OF 60
PROJECT NUMBER:
S05047-03