

SITE STATISTICS:

Tax Number: 040.14-01-02.13
Tract 2A-1 Size: 0.708 ACRE
Site Zoning: C-2S General Commercial District with Special Use Permit
Proposed Use: Drive-In Restaurant

Maximum Lot Coverage Percentage: 90%
Actual Lot Coverage Percentage: 74%

Maximum Building Coverage Percentage: 50%
Actual Building Coverage Percentage: 5%
Building Height Required: Unlimited
Building Height Proposed: 15 feet

Parking Formula: 1 space per 60 sq. ft. + required stacking spaces
Total number of parking spaces required: 25 spaces + 6 stacking spaces = 31 required
Total number of parking spaces proposed: 34 spaces
Required number of handicap parking spaces: 1 per 25 spaces
Actual number of handicap parking spaces: 2 ; 1 designated for van

Setbacks Requirements: Front: 30'
Side: None
Rear: 15'

Water: Public - Western Virginia Water Authority
Sewer: Public - Western Virginia Water Authority
Storm Water Management: Private - Existing Facility

SPECIAL USE PERMIT CONDITIONS:

Reference Ordinance #042506-8 dated: 04-25-06 approved by Roanoke County Board of Supervisors

1. A monument style sign is required.
2. Site will be developed in substantial compliance with Concept Plan prepared by Parker Design Group, Inc dated February 15, 2006.

QUANTITY + COST ESTIMATE

ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
DROP INLET VDOT DI-1	2	EA.	1,800	3,600	3,600
15 -IN. HDPE	271	L. F.	20	5,420	5,420
MANHOLE	1	EA.	1,500	1,500	1,500
CURB & GUTTER CG-6	260	L. F.	15	3,900	3,900
CURB CG-2	260	L. F.	12	3,120	3,120
CONCRETE SIDEWALK/PATIO	227	S.Y.	34	7,718	7,718
ASPHALT PAVEMENT	1,281	S.Y.	23	29,463	29,463
CONCRETE PAVEMENT	71	C.Y.	100	7,100	7,100
2" TYPE "K" COPPER WATER LAT.	1	L.S.	500	500	500
1-1/4" TYPE "K" COPPER WATER LAT.	1	L.S.	500	500	500
6" PVC SANITARY SEWER LATERAL	1	L.S.	500	500	500
GREASE TRAP	1	EA.	1,200	1,200	1,200
SAMPLING MANHOLE	1	EA.	1,500	1,500	1,500
SMALL DECIDIOUS TREES	7	1 per 30L.F.	75	525	525
SMALL EVERGREEN SHRUB	44	1 per 5 L.F.	20	880	880
AS-BUILT PLANS		L.S.	1,500	1,500	1,500
SUB-TOTAL				68,926	68,926
10% CONTINGENCY				6,893	6,893
ESTIMATED TOTAL				75,819	75,819

I HEREBY CERTIFY THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.

SIGNED: *Stephen C. Vandyke* DATE: 8/1/06

GENERAL SITE NOTES

1. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
2. The contractor shall be responsible for obtaining all necessary permits before beginning construction.
3. Rights-of-way, lot lines, and easements are dedicated on plots separate from these plans.
4. All exterior lighting fixtures shall be designed, located and arranged so as not to direct glare on adjoining streets or residential properties. The intensity at adjoining streets or residential properties shall not exceed 0.5 foot candles.
5. Dumpster pads are provided for garbage collection.
6. Proposed signage shall be permitted separately in accordance with the County of Roanoke regulations.

GENERAL NOTES

All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County and/or the Virginia Department of Transportation.

The contractor or developer is required to notify the Roanoke County Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
B. Clearing and grubbing
C. Subgrade excavation
D. Installing storm sewers or culverts
E. Setting curb and gutter forms
F. Placing curb and gutter
G. Placing other concrete
H. Placing gravel base
I. Placing any roadway surface
J. Installing water lines
K. Installing sanitary sewer lines

A pre-construction conference should be scheduled with the Roanoke County Engineering Division, to be held at least one (1) day prior to any construction.

Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.

A permit must be obtained from the V.D.O.T. Residency Office, Roanoke County, prior to construction in the highway right-of-way.

Plan approval does not guarantee issuance of any permits by V.D.O.T.

An approved set of plans and all permits must be available at the construction site.

Field construction shall honor proposed drainage divides as shown on plans.

All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

Pavement sections on approved plans are based on a minimum CBR of 10. CBR tests are to be performed by the engineer and submitted to V.D.O.T. and to the Roanoke County Engineering Division prior to placement. CBR values < 10 will require revised pavement sections.

All roadside ditches or grades of more than 5 percent shall be paved with cement concrete to the limits as indicated on the plans and as required at the field inspection.

Location of guard rails shall be determined at a joint field inspection by the County and V.D.O.T.

All springs shall be capped and piped to the nearest storm sewer or natural watercourse. The pipe shall be 6 inch minimum diameter and conform to V.D.O.T. Standard SB-1.

Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.

Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.

The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.

The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.

Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.

The developer or contractor shall supply the county with correct As-Built plans before final acceptance.

All work shall be subject to inspection by Roanoke County and/or V.D.O.T. inspectors.

Field corrections shall be approved by the Roanoke County Engineering Division prior to such construction.

100 year floodway and floodplain information shall be shown where applicable.

Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.

No construction/field changes without the approval of the Consulting Engineer and Roanoke County.

Any new alignments, changes in grades, alternative pipe sizes or manholes or ESC revisions will require a new set of plans stamped by the Consulting Engineer. Plan sheets can be 8.5" x 11" if the information is legible.

INDEX

- C-1 ROANOKE COUNTY COVER SHEET
C-2 EXISTING CONDITIONS & DEMOLITION PLAN
C-3 SITE DIMENSIONAL PLAN
C-4 SITE UTILITY PLAN
C-5 GRADING AND EROSION & SEDIMENT CONTROL PLAN
C-6 EROSION & SEDIMENT CONTROL DETAILS
C-7 PROFILES & DETAILS
L-1 LANDSCAPE PLAN & DETAILS
SD2 SITE DETAILS
SD3 TRASH ENCLOSURE DETAILS
SD4 SITE DETAILS

SEWER NOTES

All sanitary sewer facilities shall be installed according to the Western Virginia Water Authority Design and Construction Standards. (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown or may not be shown in their exact location. The contractor shall comply with (State Water Works Regulations, Section 12.05.03, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to V.D.O.T. standards.

Lines shall be staked prior to construction.

WATER NOTES

All water facilities shall be installed according to the Western Virginia Water Authority Design and Construction Standards/ (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown in the exact location. The contractor shall comply with the State Water Works Regulations, Section 12.05.03, where lines cross.

All trenches in existing or future highway right-of-ways shall be compacted according to V.D.O.T. standards.

Lines shall be staked prior to construction.

Water main shall be minimum Class 350 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

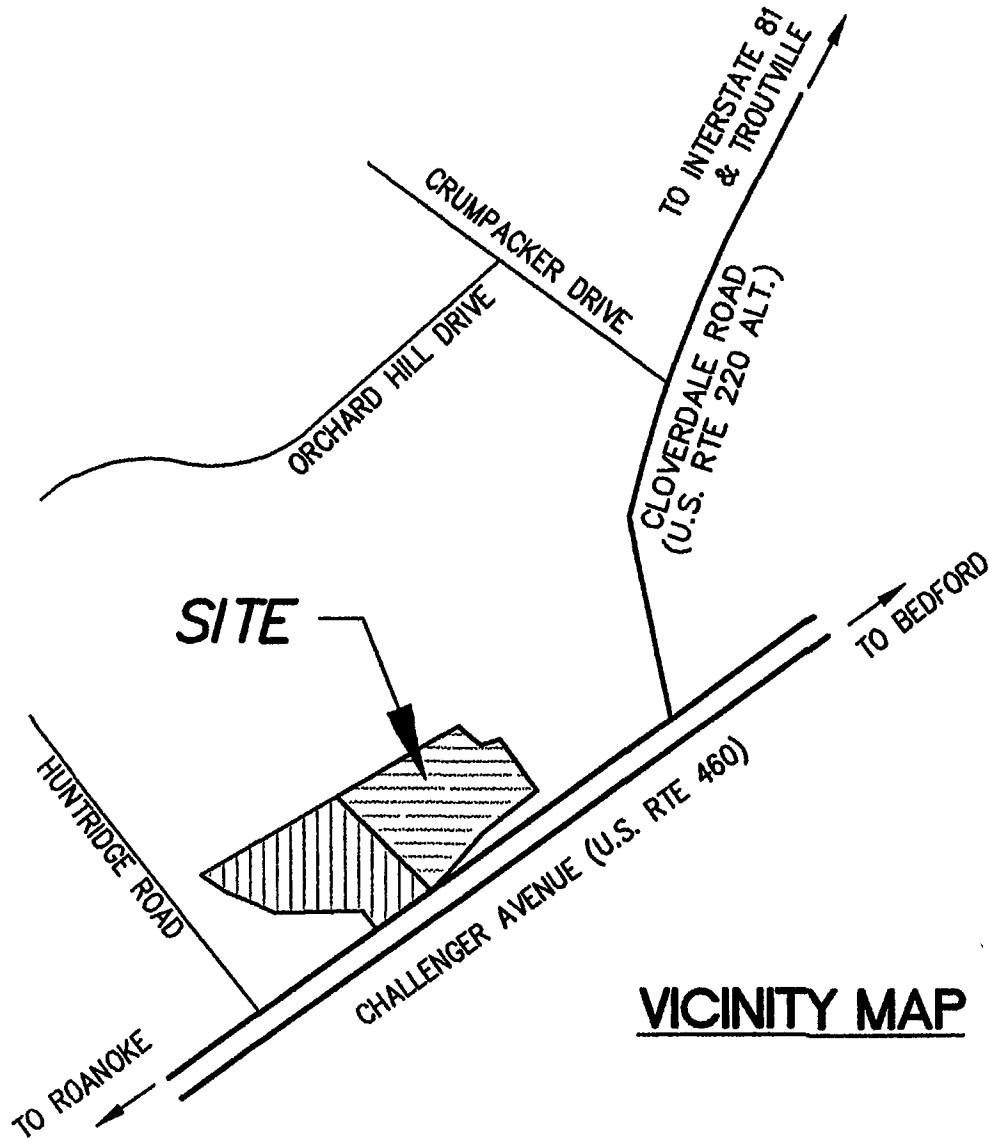
Ductile Iron Pipe in accordance with the Western Virginia Water Authority Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

Availability letter number No. 06-147

4504 Challenger

LEGEND

- CONCRETE PAVEMENT
ASPHALT PAVEMENT
CONCRETE SIDEWALK & PATIO
- EX. POWER POLE
EX. TELEPHONE
BENCHMARK
- SURVEYED PROPERTY LINE
EXIST. EDGE OF PAVEMENT
OHE EXIST. OVERHEAD POWER
W EXIST. WATER LINE
C EXIST. OVERHEAD CABLE
EXIST. CENTERLINE OF ROAD
EXIST. STORM SEWER
SAN EXIST. SANITARY SEWER
UE PROP. UNDERGROUND ELEC. LINE
UG PROP. UNDERGROUND ELEC. SERVICE
W PROP. WATERLINE
- T PROP. TELEPHONE LINE
G PROP. GAS LINE
SAN PROP. SANITARY SEWER LINE
PROP. STORM SEWER LINE
PROP. CONTOURS
EXIST. 2' CONTOURS
-345- EXIST. 10' CONTOURS
+ 348.55 PROP. SPOT ELEVATION
X SILT FENCE



SURVEY INFORMATION

Horizontal and vertical control surveys were performed in 2005 by T.P. PARKER AND SON ENGINEERS AND SURVEYORS

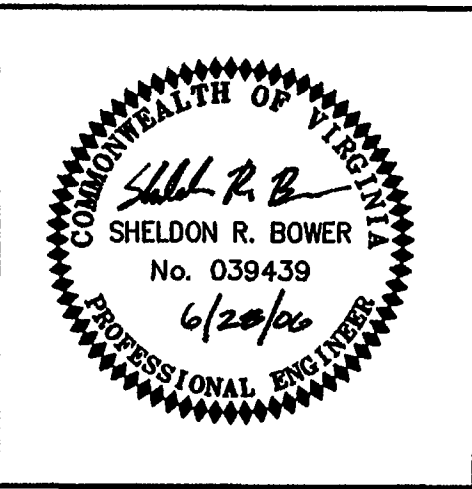
All elevations must be referenced to the National Geodetic Vertical Datum of 1929.

Source of topographic mapping is T.P. PARKER AND SON ENGINEERS AND SURVEYORS dated December 2005

Boundary was performed by T.P. PARKER AND SON ENGINEERS AND SURVEYORS dated December 2005

The professional seal and signature below certifies the boundary survey and topographic mapping to be accurate and correct.

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY		
Department		Date
Development Review	<i>JP</i>	8/14/06
Engineering	<i>JP</i>	8-14-06
Water & Sewer	<i>RRR</i>	9-18-06
Planning & Zoning	<i>TWS</i>	8/14/06



PROFESSIONAL ENGINEER
SEAL AND SIGNATURE

AS-BUILT

12/12/2006

COUNTY OF ROANOKE



THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN BY THE DESIGNATED SONIC DRIVE-IN OWNER FOR CONSTRUCTION OF THE DRIVE-IN AT THE SPECIFIED LOCATION.

HOLLINS MAGISTERIAL DISTRICT

Engineer/Surveyor: Parker Design Group, Inc
816 Boulevard
Salem, VA 24153
Office: 540-387-1153
Fax: 540-389-5767

Architect: BSW International
One West Third Street, Suite 800
Tulsa, OK 74103
Office: 918-295-4259

Owner/Developer: Sonic Corporation
300 Johnny Bench Drive
Oklahoma City, OK 73104
Offices: 405-228-5000
Fax: 405-225-5991

TAX MAP NUMBER 040.14

BLOCK NUMBER 01

PARCEL NUMBER 02.13

WWW.ID# 60208M