

SITE STATISTICS:

Tax Number: 6650111
Parcel Total Area: 15.116 acres
Zone: CLS
Proposed Use: Drive-In Restaurant
Proposed Units: One
Maximum Building Height: None
Required Parking Spaces: 5 stacking spaces + 1 space/ 60 SF of seating area = 14 spaces
Proposed Parking Spaces: 30 spaces provided
Building Setbacks:
Front: 20' min.
Side: 25' min.
Rear: 25' min.
Impervious Surface Ratio: 80% max. Actual = 76%
Water: Public - Western Virginia Water Authority
Sewer: Public - Western Virginia Water Authority

AVAILABILITY NO: #06-294

SEWER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A COMMERCIAL SANITARY SEWER LATERAL AND A SAMPLING MANHOLE.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WVWA.

HOUSE CONNECTIONS ARE TO BE MADE WITH 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND. THE TRANSITION FROM DUCTILE IRON TO CONCRETE PIPE SHALL BE MADE WITH AN ADAPTER IN THE RIGHT OF WAY.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION AND FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE WVWA DESIGN AND CONSTRUCTION STANDARDS AND DETAILS, FIRST EDITION, DATED JULY 2004.

WATER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A WATER LATERAL TYING INTO THE EXISTING WATER METER. SITE REQUIRES 2 EACH 1" METER & 1" WATER LINE.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

WATER MAIN SHALL BE MINIMUM CLASS 52 DUCTILE IRON IN ACCORDANCE TO AWWA C151.

APPLICATION FOR UTILITIES TO SERVE DEVELOPMENT REFERENCE WVWA.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WVWA WATER AND SEWER STANDARDS.

SITE DEVELOPMENT PLANS

FOR
Sonic Restaurants, Inc.

Sonic Drive-In

CITY OF ROANOKE

ROANOKE, VA

September 5, 2006

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

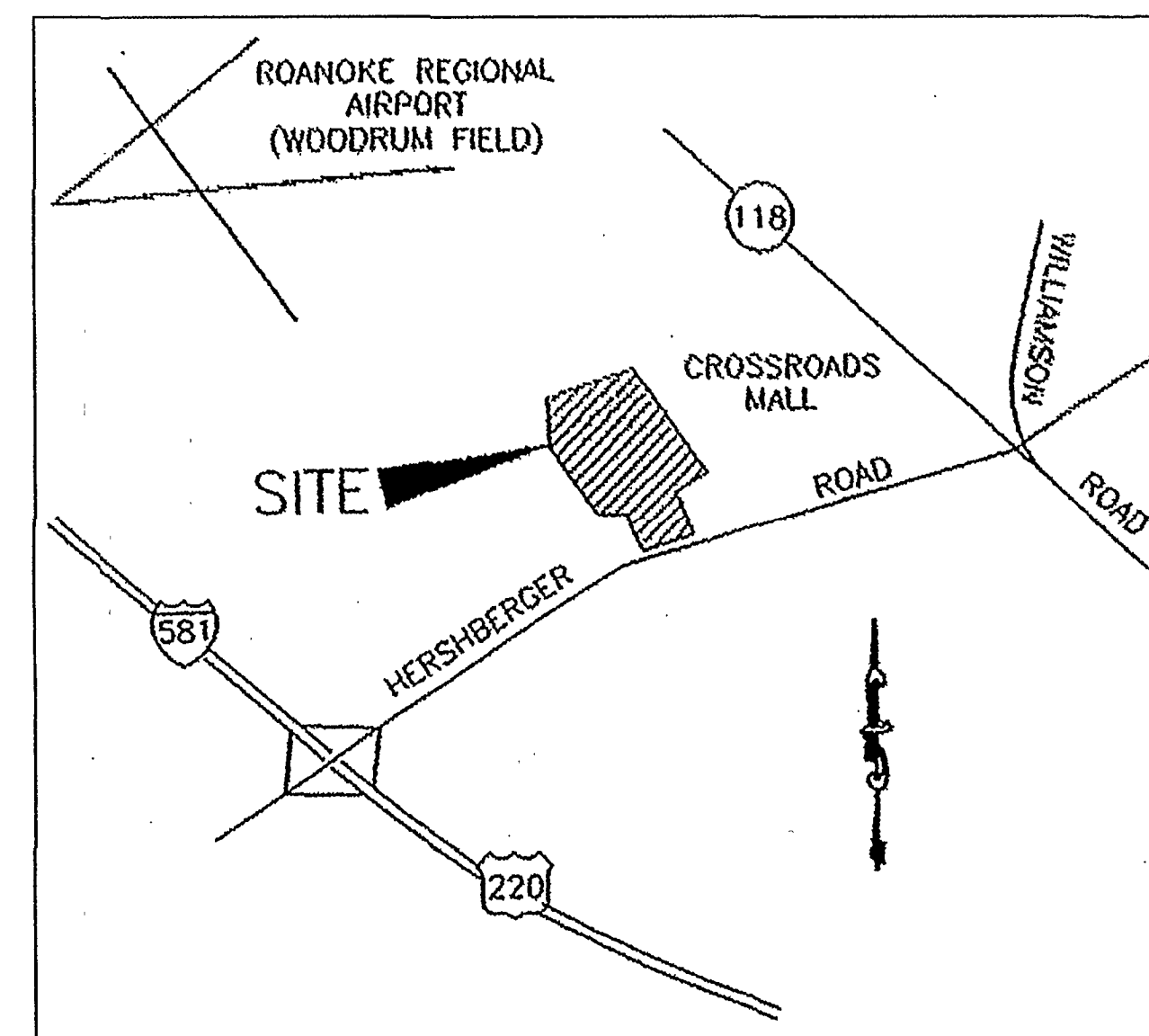
FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

CONTACT INFORMATION:

Engineer
& Surveyor: Parker Design Group
816 Boulevard, Salem, VA 24153
Ph: 540.387.1153 Fax: 540.389.5767

Owner: Lowe's Home Centers, Inc.
Box 1111 Highway 268 East, North Wilksboro, NC 28659

Lease
/ Developer: Sonic Restaurants, Inc., Attn: Mike Huntington
300 Johnny Bench Drive, Oklahoma City, OK 73104
Ph: 405.225.4636 Fax: 405.225.5991



VICINITY MAP
NO SCALE

SHEET INDEX:

- | | |
|-----|--|
| C-1 | COVER SHEET |
| C-2 | OVERALL PLAN |
| C-3 | DEMOLITION PLAN & NOTES |
| C-4 | SITE DIMENSIONAL PLAN |
| C-5 | SITE UTILITY PLAN |
| C-6 | SITE GRADING AND EROSION & SEDIMENT CONTROL PLAN |
| C-7 | EROSION & SEDIMENT CONTROL NARRATIVE AND DETAILS |
| C-8 | SANITARY SEWER PROFILE AND DETAILS |
| L-1 | LANDSCAPE PLAN |
| SD2 | SITE DETAILS |
| SD3 | TRASH ENCLOSURE DETAILS |
| SD4 | SITE DETAILS |

As-Built's
K. Winslow
6/29/07

LEGEND:

CONCRETE	YARD LIGHT (S.M.H.)	EX. POWER POLE
ASPHALT PAVING	TYPICAL YARD HYDRANT	EX. TELEPHONE
PAVEMENT REPLACEMENT	PROP. FIRE HYDRANT	EX. TELEPHONE PEDESTAL
GRAVEL	PROP. AIR RELEASE VALVE	EX. LIGHT POLE
PAVERS	PROP. GATE VALVE	BENCHMARK
WETLAND AREA	PROP. BLOW OFF VALVE	
SURVEYED PROPERTY LINE	PROP. TELEPHONE LINE	
PROPOSED PROPERTY LINE	PROP. GAS LINE	
DEED PROPERTY LINE	PROP. SANITARY SEWER LINE	
CH-E EXIST. OVERHEAD POWER	PROP. STORM SEWER LINE	
W EXIST. WATER LINE	PROP. CONTOURS	
C EXIST. OVERHEAD CABLE	EXIST. 2' CONTOURS	
EXIST. CENTERLINE OF ROAD	EXIST. 10' CONTOURS	
EXIST. STORM SEWER	PROP. SPOT ELEVATION	
SAN EXIST. SANITARY SEWER	SILT FENCE	
UE PROP. UNDERGROUND ELEC. LINE	PROP. TREELINE	
UG PROP. UNDERGROUND ELEC. SERVICE	RMA RESOURCE MANAGEMENT AREA BOUNDARY	
W PROP. WATERLINE	RPA RESOURCE PROTECTION AREA BOUNDARY	
A PROP. AUDIO CABLE	DITCH LINE	
EXIST. TREELINE		
EXIST. EDGE OF PAVEMENT		

SEE SHEET C-6 FOR EROSION AND SEDIMENT CONTROL LEGEND.

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke, VDOT, and VA ESCH standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and right of way referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- The contractor or developer is required to notify the City of Roanoke Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

- Installation of approved erosion control devices
- Clearing and grubbing
- Subgrade excavation
- Installing storm sewers or culverts
- Placing gravel base
- Placing any roadway surface
- Installing water lines
- Installing sanitary sewer lines

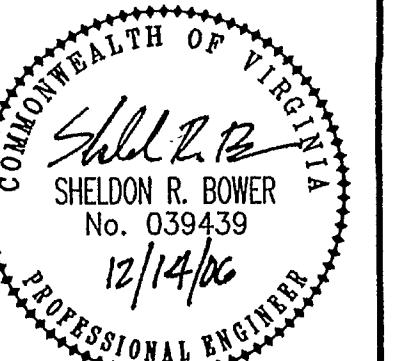
N/A = Not Anticipated for this project.

- A pre-construction conference should be scheduled with the City of Roanoke, to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the paved area before placing embankment.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- Field corrections shall be approved by the City of Roanoke prior to such construction.
- 100 year floodway and floodplain information shall be shown where applicable.
- Grade stakes shall be set for all retaining wall construction.
- All new utilities shall be installed underground per the City of Roanoke requirements.

LOCAL APPROVALS:

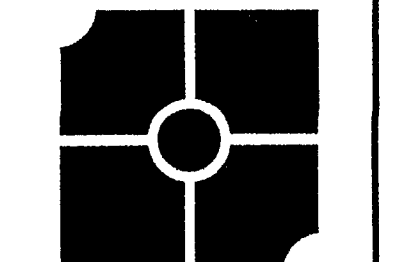
DEVELOPMENT PLAN APPROVED		Date
Agent, Planning Commission	<i>[Signature]</i>	1-16-07
AGENT - CITY OF ROANOKE	Planning Commission Engineer	<i>[Signature]</i> 1-12-07
	Zoning Administrator	<i>[Signature]</i> 1/16/07
Any changes to the approved plan must be coordinated with the City Engineer - City of Roanoke prior to construction.		
CITY ENGINEER - CITY OF ROANOKE	DATE	
WWW ID# 6WVR9G		

06-0064-03
DATE: SEPTEMBER 5, 2006



NO.	DATE	REVISIONS
10/20/06	PER CITY OF ROANOKE COMMENTS	
11/10/06	PER CITY OF ROANOKE COMMENTS	
11/16/06	PER CITY OF ROANOKE COMMENTS	
12/14/06	PER WESTERN VIRGINIA WATER AUTHORITY	

parker
DESIGN GROUP
816 Boulevard
Salem, Virginia 24153
Phone: 540-387-1153
Fax: 540-389-5767
www.parkergroup.com



SONIC CORPORATION
300 JOHNNY BENCH DR
OKLAHOMA CITY, OK 73104
OFFICES: 405-225-5000
FAX: 405-225-5991
AMERICA'S DRIVE-IN CORP.
COPYRIGHT 1986-2006
ALL RIGHTS RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PERMISSION IN WRITING FROM THE CITY OF ROANOKE.

SONIC DRIVE-IN
BUILDING TYPE: 09
Rugers Street, N.W.,
Roanoke, Virginia
COVER SHEET

C-1