

GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS (LINEAR AND RADIAL) ARE TO FACE OF CURB (FC) OR EDGE OF PAVEMENT (EP).
- REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND DIMENSIONS.
- IN ACCORDANCE WITH ROANOKE COUNTY ZONING ORDINANCE SECTION 30-91-4.4, ALL PARKING SPACES SHOWN SHALL BE 9-FOOT WIDE X 19-FOOT DEEP (UNLESS OTHERWISE INDICATE AND WHERE PERMITTED BY CODE) AND SHALL BE DELINEATED WITH A 4-INCH WIDE PAINTED WHITE STRIPE AS SHOWN HEREON. WHERE PARKING SPACES LIE ADJACENT TO A PLANTING ISLAND OR OTHER PHYSICAL SEPARATION (BUT NOT A SIDEWALK), THE PAVED DEPTH OF ALL STALLS MAY BE DECREASED BY TWO (2) FEET TO PROVIDE FOR A VEHICLE OVERHANG AREA.
- ALL PARKING LOT AREA AND TRAVELWAYS NOT INDICATED TO BE PAVED WITH HEAVY DUTY PAVEMENT SHALL BE PAVED WITH REGULAR DUTY PAVEMENT.
- ALL GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5 OF THE ROANOKE COUNTY ZONING ORDINANCE. GROUND-LEVEL MECHANICAL EQUIPMENT IS SHOWN HERE ON TO THE EXTENT KNOWN.
- IN ACCORDANCE WITH ROANOKE COUNTY ZONING ORDINANCE SECTION SEC. 30-94, ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ALL PROPOSED SIGNS SHALL COMPLY WITH SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE. NO SIGN MAY BE ERECTED OR DISPLAYED WITHOUT AN APPROVED SIGN PERMIT (EXCEPT AS PROVIDED IN SECTION 30-93-3).
- THIS DEVELOPMENT PROPOSES OR RESULTS IN NO SUBDIVISION OR COMBINATION OF PARCELS.
- ACCESS TO THE SUBJECT PROPERTY FROM ADJOINING PUBLIC STREETS IS PROVIDED BY SOUTH PEAK BOULEVARD* (APPROVED UNDER COUNTY PLAN NO. SP-1200828). SOUTH PEAK BOULEVARD IS LOCATED WITH A 50-FOOT WIDE CROSS ACCESS EASEMENT WHICH IS RECORDED IN INSTRUMENT NO. 201213435.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET.

KEYNOTES:

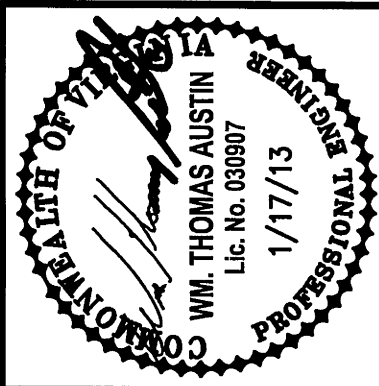
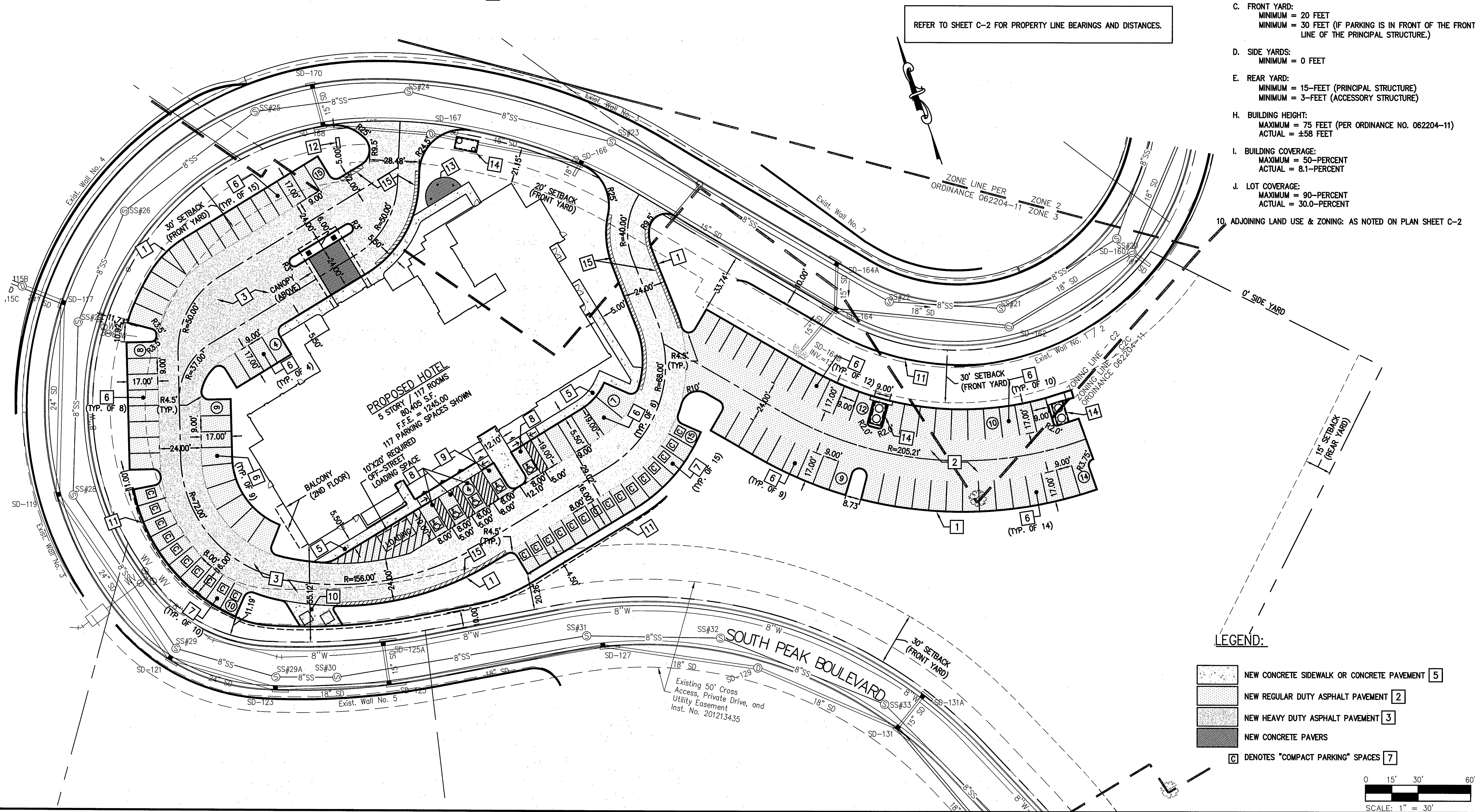
- CONCRETE CURB - VDOT STANDARD CG-2. SEE DETAIL ON SHEET C-10.
- REGULAR DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-10.
- HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-10.
- CONCRETE PAVEMENT / APRON. SEE DETAIL ON SHEET C-10.
- NEW CONCRETE SIDEWALK. SEE DETAIL ON SHEET C-10.
- STANDARD PARKING SPACE (9-FOOT WIDE X 19-FOOT DEEP, EXCEPT WHERE OVERHANG PERMITTED, THEN 9-FOOT WIDE X 17-FOOT DEEP). SEE DETAIL ON SHEET C-10.
- COMPACT PARKING SPACE (8-FOOT WIDE X 16-FOOT DEEP). SEE DETAIL ON SHEET C-10 FOR PAVEMENT MARKING REQUIREMENTS.
- STANDARD HANDICAPPED ACCESSIBLE PARKING SPACE WITH SIGN (SIGN MOUNTED ON BUILDING WHERE REQUIRED). SEE DETAIL ON SHEET C-10.
- VAN HANDICAPPED ACCESSIBLE PARKING SPACE WITH SIGN. SEE DETAIL ON SHEET C-10.
- DUMPSTER ENCLOSURE. SEE GENERAL NOTE NO. 10 AND SEE DETAIL ON SHEET C-11.
- SITE RETAINING WALL. SEE GRADING PLAN (SHEET C-8) FOR INFORMATION REGARDING HEIGHTS AND SEE RETAINING WALL DESIGN PLANS (RW-1 THROUGH RW-5) FOR SECTIONS AND ELEVATIONS.
- MONUMENT SIGN.
- THREE 30-FOOT TALL FLAG POLES WITH UP-LIGHTS.
- STORM DRAINAGE STRUCTURE OR WATER QUALITY DEVICE. REFER TO SHEET C-8 FOR ADDITIONAL INFORMATION.
- FIRE LANE MARKING - SEE SHEET C-10 FOR DETAIL.

PARKING TABULATIONS:

- OFF-STREET PARKING REQUIREMENTS (SEC. 30-91-3.3):
 - MINIMUM PARKING REQUIRED FOR HOTEL/MOTEL/MOTOR LODGE = 1 SPACE PER GUEST ACCOMMODATION, PLUS SPACES AS REQUIRED FOR OTHER USES.
- TOTAL GUEST ACCOMMODATION UNITS: 117 UNITS
- REQUIRED MINIMUM = 117 SPACES
- TOTAL PROVIDED = 117 SPACES
- HANDICAPPED ACCESSIBLE PARKING (SEC. 30-91-3.2):
 - REQUIRED = 5 SPACES
 - PROVIDED = 5 SPACES
 - VAN ACCESSIBLE REQUIRED = 1/8 * 4, BUT NOT LESS THAN 1 SPACE
 - VAN ACCESSIBLE PROVIDED = 1 SPACE
- SUMMARY:
 - REGULAR SPACES = 87 SPACES
 - HANDICAPPED ACCESSIBLE - REGULAR = 4 SPACES
 - HANDICAPPED ACCESSIBLE - VAN = 1 SPACE
 - COMPACT = 25 SPACES (21.4% OF TOTAL / 30% MAX. ALLOWED)
 - TOTAL SPACES SHOWN = 117 SPACES
- COMPLIANCE WITH MAXIMUM OFF-STREET PARKING (SEC. 30-91-3.4)
 - MINIMUM REQUIRED = 117 SPACES
 - MAXIMUM PERMITTED = 129 SPACES
 - TOTAL SPACES SHOWN = 117 SPACES
- PARKING SPACE DIMENSIONS (SEC. 30-91-4.4):
 - STANDARD SPACES (90 DEGREE): 9-FOOT WIDE X 19-FOOT DEEP
 - STANDARD SPACE WHERE OVERHANG PROVIDED: 9-FOOT WIDE X 17-FOOT DEEP
 - COMPACT SPACES (90 DEGREE): 8-FOOT WIDE X 16-FOOT DEEP
 - TRAVELWAY: 24-FOOT WIDE
- OFF-STREET LOADING (SEC. 30-91-7):
 - MINIMUM REQUIRED = 1 SPACE
 - PROVIDED = 1 SPACE (SEE PLAN)
 - SIZE = 10-FOOT BY 20-FOOT

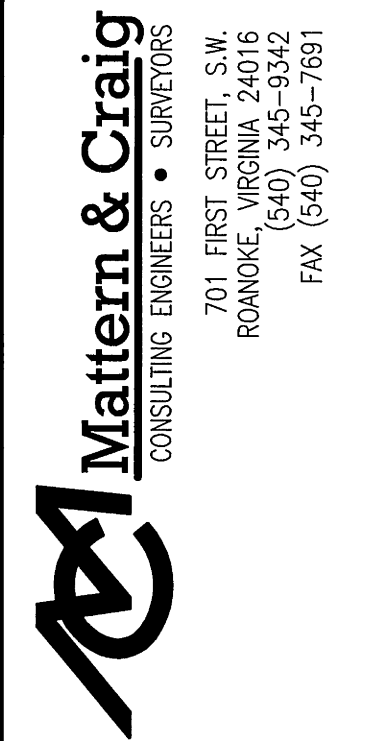
SITE TABULATIONS:

- TAX PARCEL NUMBER: 077.20-01-55.00-0000
- SITE ADDRESS:
4500 SOUTH PEAK BOULEVARD
ROANOKE, VA
- PROPERTY OWNER:
SOUTH PEAK HOTEL, LLC
4423 PHEASANT RIDGE ROAD, SW
ROANOKE, VA 24014
INSTRUMENT NO. 201202228
- SITE AREA = 5.433 ACRES (INST. NO. 201201979)
- ZONING: GENERAL COMMERCIAL DISTRICT (C2) AND GENERAL COMMERCIAL DISTRICT WITH CONDITIONS (C2C) - ORDINANCE NO. 062204-11 (-SHOWN ON SHEET C-3.) SEE ZONING LINE SHOWN HEREON.
- OVERLAY ZONING DISTRICTS: NONE
- LAND USE:
CURRENT USE: VACANT
PROPOSED USE: HOTEL, 5-STORY, 117 ROOM
- BUILDING AREA:
EXISTING BUILDING = 0 S.F. (GROSS)
PROPOSED BUILDING = 80,405 S.F. (GROSS)
- SITE DEVELOPMENT STANDARDS (SEC. 30-54-3):
 - LOT AREA:
MINIMUM = 15,000 S.F.
ACTUAL = 236,661 S.F.
 - LOT FRONTAGE:
MINIMUM = 75 FEET
ACTUAL = N/A FEET
 - FRONT YARD:
MINIMUM = 20 FEET
MINIMUM = 30 FEET (IF PARKING IS IN FRONT OF THE FRONT LINE OF THE PRINCIPAL STRUCTURE.)
 - SIDE YARDS:
MINIMUM = 0 FEET
 - REAR YARD:
MINIMUM = 15-FOOT (PRINCIPAL STRUCTURE)
MINIMUM = 3-FOOT (ACCESSORY STRUCTURE)
 - BUILDING HEIGHT:
MAXIMUM = 75 FEET (PER ORDINANCE NO. 062204-11)
ACTUAL = ±58 FEET
 - BUILDING COVERAGE:
MAXIMUM = 50-PERCENT
ACTUAL = 8.1-PERCENT
 - LOT COVERAGE:
MAXIMUM = 90-PERCENT
ACTUAL = 30.0-PERCENT
- ADJOINING LAND USE & ZONING: AS NOTED ON PLAN SHEET C-2



Revisions	Date

Issue Date: JAN. 17, 2013
Drawn By: RWA
Designed By: WJA/RWA
Checked By: WJA
Date: 1/17/13



SOUTH PEAK HOTEL
SMITH/PACKETT MED-COM, LLC
SITE PLAN
ROANOKE COUNTY, VIRGINIA

Vertical Scale:
Horizontal Scale:
1" = 30'
Commission Number:
3101-H
Sheet No.:

C-4