

KNOW ALL MEN BY THESE PRESENTS TO WIT:

THAT FREDERICK ELWOOD TAYLOR, Jr. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE RESUBDIVIDED, BOUNDED BY OUTSIDE CORNERS 1 TO 26 TO 1, INCLUSIVE, WHICH COMPRISES THE TOTAL ACREAGE CONVEYED TO SAID OWNER BY THE FOLLOWING: ALL OF THE LAND AS RECORDED IN D.B. 1358, Pg. 281 IN THE CLERKS OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA IN ALL OF THE LAND AS RECORDED IN D.B. 1719, Pg. 1653 IN THE CLERKS OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA AND ALL OF THE REMAINING PROPERTY AS RECORDED IN D.B. 1131, Pg. 337 IN THE CLERKS OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA.

THAT JEAN MOYLAN TAYLOR, IS THE SAID OWNER OF TAX PARCEL #97.01-01-27.1, AS RECORDED IN D.B. 1358, Pg. 281 IN THE CLERKS OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA. BY RECORDATION OF THIS PLAT, SAID OWNER CONVEYS TO THE HOMEOWNERS ASSOCIATION OF THIS DEVELOPMENT, A STORMWATER MANAGEMENT EASEMENT BOUNDED BY CORNERS 23, 24, 27, 28, 29, 30, 31, 32 TO 23.

THE SAID OWNER CERTIFIES THAT HE HAS SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH HIS OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE CODE OF VIRGINIA (1950) AS AMENDED TO DATE, AS REQUIRED BY SECTIONS 15.2-2240 THROUGH 15.2-2279, FURTHER PURSUANT TO AND IN COMPLIANCE WITH THE COUNTY OF ROANOKE LAND SUBDIVISION ORDINANCE.

THE SAID OWNER HEREBY DEDICATES IN FEE SIMPLE TO AND VESTS IN THE COUNTY OF ROANOKE, VIRGINIA SUCH PORTIONS OF THE PREMISES AS PLATTED ON THIS PLAT AND SET APART FOR WATER AND/OR SANITARY SEWER EASEMENTS AND SUCH AREAS AS DESIGNATED ALONG CRYSTAL CREEK DRIVE FOR PUBLIC RIGHT-OF-WAY. ALL OTHER EASEMENTS SHOWN HEREON FOR THE DEVELOPMENT OF THE SUBJECT PROPERTY ARE HEREBY RESERVED FOR PRIVATE USE BY THE HOMEOWNERS ASSOCIATION OF THIS DEVELOPMENT, UNLESS OTHERWISE NOTED.

IN THE WITNESS WHEREOF ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS:

FREDERICK ELWOOD TAYLOR, JR., OWNER DATE
OWNER (DB 1131, Pg 343 & DB 1358, Pg 281 & DB 1719, Pg 1653)

JEAN MOYLAN TAYLOR DATE
OWNER (D.B. 1358 , Pg. 281)

STATE OF VIRGINIA

____ OF _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE DO HEREBY CERTIFY THAT _____, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING DATED _____, 2004, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID COUNTY AND STATE AND ACKNOWLEDGED THE SAME ON _____, 2004. MY COMMISSION EXPIRES _____.

____ NOTARY PUBLIC

STATE OF VIRGINIA

____ OF _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE DO HEREBY CERTIFY THAT _____, WHOSE NAME IS SIGNED TO THE FOREGOING WRITING DATED _____, 2004, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID COUNTY AND STATE AND ACKNOWLEDGED THE SAME ON _____, 2004. MY COMMISSION EXPIRES _____.

____ NOTARY PUBLIC

APPROVAL HEREOF BY THE ROANOKE COUNTY SUBDIVISION AGENT IS FOR PURPOSES OF ENSURING COMPLIANCE WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE. PRIVATE MATTERS, SUCH AS COMPLIANCE WITH RESTRICTIVE COVENANTS OR OTHER TITLE REQUIREMENTS, APPLICABLE TO THE PROPERTIES SHOWN HEREON, ARE NOT REVIEWED OR APPROVED WITH REGARD TO THIS SUBDIVISION OR RESUBDIVISION.

APPROVED:

AGENT, ROANOKE COUNTY PLANNING COMMISSION DATE

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA THIS MAP WAS PRESENTED WITH THE CERTIFICATE OF ACKNOWLEDGEMENT THEREOF ATTACHED ADMITTED TO RECORD AT _____ O'CLOCK ____ M. ON THIS ____ DAY OF _____, 2004.

TESTE: STEVEN A. MCGRAW CLERK

BY: _____ DEPUTY CLERK

NOTES:

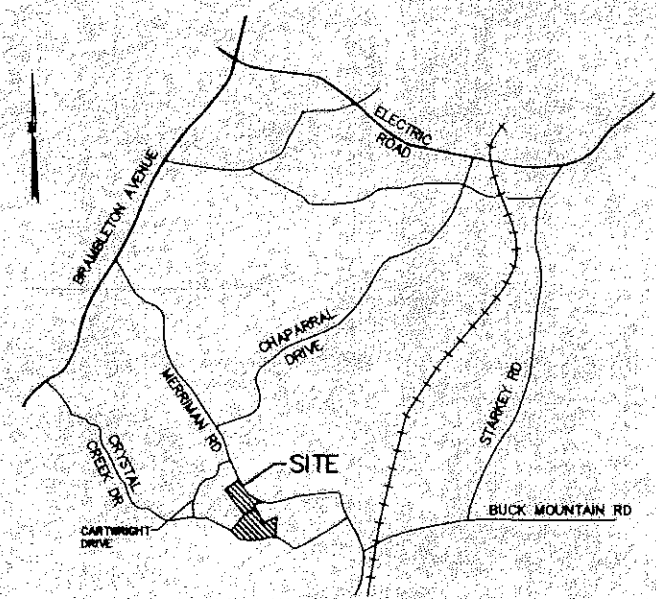
1. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL ENCUMBRANCES UPON THE PROPERTIES.
2. IRON PINS WILL BE SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
3. THIS PROPERTY IS LOCATED IN F.E.M.A. DEFINED ZONE X UNSHADED. SEE F.E.M.A. MAP 5116100039 WITH AN EFFECTIVE DATE OF OCTOBER 18, 1995.
4. PROPERTY IS CURRENTLY ZONED R-1.
5. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
6. THE HOMEOWNERS' ASSOCIATION OF THIS DEVELOPMENT SHALL ASSUME THE MAINTENANCE RESPONSIBILITY OF THE STORM DRAINAGE SYSTEM AND OF THE STORMWATER MANAGEMENT FACILITY LOCATED THEREIN, AND CONTAINED WITHIN THE EASEMENT HEREBY DEDICATED.
7. THE PRIVATE STREETS SERVING THE PROPERTY SUBDIVIDED DOES NOT MEET STATE STANDARDS AND WILL NOT BE MAINTAINED BY THE DEPARTMENT OF TRANSPORTATION OR THE COUNTY OF ROANOKE. ADDITIONALLY, THE STREETS WILL NOT BE CONSIDERED ELIGIBLE FOR ADDITION AS AN ELEMENT OF THE SECONDARY SYSTEM OF STATE HIGHWAYS UNTIL IT IS CONSTRUCTED TO THE STANDARDS OF THE CURRENT PREVAILING SUBDIVISION STREET REQUIREMENTS OR OTHER APPLICABLE APPROVED STANDARDS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION, UTILIZING FUNDS OTHER THAN THOSE ADMINISTERED BY THE DEPARTMENT OF TRANSPORTATION.
8. THE PRIVATE STREETS SHOWN HEREON DO NOT MEET COUNTY OF ROANOKE STANDARDS FOR SCHOOL BUS SERVICE.
9. THE PRIVATE STREETS SHOWN HEREON DO NOT MEET COUNTY OF ROANOKE STANDARDS FOR PUBLIC TRASH SERVICE.
10. ON-STREET PARKING IS PROHIBITED ON AT LEAST ONE SIDE OF EACH STREET, AND SHALL BE CLEARLY IDENTIFIED BY SIGNAGE.
11. PRESSURE REDUCING VALVES FOR THE PUBLIC WATER LATERAL/SERVICES WILL BE REQUIRED FOR ANY DWELLINGS CONSTRUCTED WITHIN LOT 8 OR LOT 10.

BOUNDARY DATA

BASED ON AN ASSUMED DATUM

CORNER	NORTHING	EASTING
1	4489.343	5668.978
2	4499.852	5527.117
3	4473.191	5212.956
4	4586.708	5205.083
5	4579.651	5103.327
6	4459.450	5111.654
7	4501.841	4922.782
8	4682.347	4713.761
9	4678.160	4709.988
10	4752.064	4592.582
11	4999.957	4815.960
12	4903.269	4912.835
13	5000.000	5000.000
14	5158.238	4898.673
15	5210.025	4962.281
16	5617.780	4675.405
17	5757.740	4881.260
18	5745.352	4889.061
19	5526.645	5029.195
20	5411.198	5125.918
21	5343.192	5199.520
22	5241.321	5344.974
23	5232.783	5361.533
24	5208.188	5207.980
25	4804.830	5418.521
26	4920.434	5709.379

VICINITY MAP



LEGEND

I.P.F.	IRON PIN FOUND
FH	FIRE HYDRANT
S.S.E.	SANITARY SEWER EASEMENT
T.E.	TELEPHONE EASEMENT
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
W.L.E.	WATERLINE EASEMENT
---	PROPERTY LINE
X-X	WIRE FENCE

ACREAGE TABULATION

PRE-DEVELOPMENT

0.999 ACRE PARCEL -- TAX PARCEL #87.17-06-11.3
4.604 ACRE PARCEL -- TAX PARCEL #87.17-06-12
9.019 ACRE PARCEL -- TAX PARCEL #97.05-01-27
14.622 ACRES TOTAL

POST-DEVELOPMENT

0.156 ACRES -- DEDICATED TO COUNTY OF ROANOKE FOR ROAD PURPOSES
12.507 ACRES -- NEW TAX PARCEL #87.17-06-12
1.959 ACRES -- NEW TAX PARCEL #97.05-01-27
14.622 ACRES TOTAL

SUBDIVISION PLAT
for

"SPEEDWELL"

PROPERTY OF

FREDERICK ELWOOD TAYLOR, JR.

0.999 ACRE PARCEL (DB 1719, Pg 1653) -- TAX PARCEL #87.17-06-11.3
4.604 ACRE PARCEL (DB 1131, Pg 343) -- TAX PARCEL #87.17-06-12
9.019 ACRE PARCEL (DB 1358, PG 281) -- TAX PARCEL #97.05-01-27

CREATING HEREON

NEW RESIDENTIAL LOTS 1,5,6,7,8 & 10
NEW CONSERVATION LOTS 2 & 4

NEW HOMEOWNERS ACCESS LOTS 3 & 9

AND DEDICATING 0.156 ACRES TO COUNTY OF ROANOKE ALONG CRYSTAL CREEK DRIVE FOR RIGHT-OF-WAY

CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA



CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS

4203 MELROSE AVENUE, NW P.O. Box 6260 ROANOKE, VIRGINIA 24017
(540) 366-3400 Fax: (540) 366-8702 E-Mail: CWA@ROANOKEAOL.COM
Drawn: J.V.J. Date: April 7, 2004
Checked: F.B. Caldwell, III W.O. No.: 01-0111
Field Book: Wes #12 SHEET 1 OF 5

