

SITE SUMMARY:

OWNER: JP HOLLINS LLC
815 GAINSBORO ROAD
ROANOKE, VIRGINIA 24016

TAX MAP NUMBER: 018.18-01-06.01-0000

EXISTING LOT SIZE: ±2.94 AC.

ZONING: C2CS - HIGH INTENSITY COMMERCIAL DISTRICT W/CONDITIONS
ORDINANCE # 32790-9 (09/01/1990)
SPECIAL USE PERMIT - ORDINANCE # 022707-9 (03/02/2007)

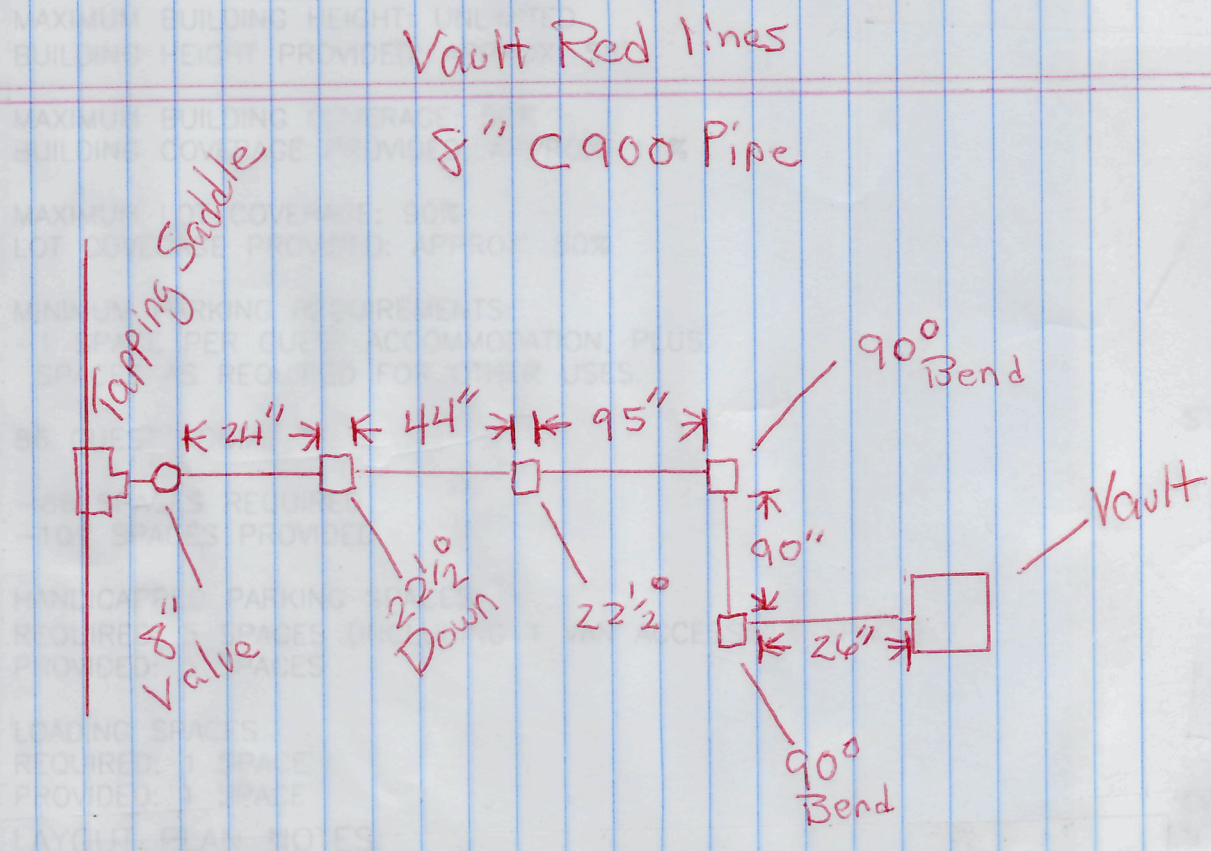
PROPOSED USE: HOTEL

MINIMUM LOT SIZE REQUIRED: 15,000 S.F.
(SITE INCLUDES PUBLIC WATER/SEWER SERVICES)

MINIMUM LOT FRONTAGE REQUIRED: 75 LF OF FRONTAGE

EXISTING LOT FRONTAGE: ±330 LF OF FRONTAGE

SETBACKS: 30' F.Y.S. OR 20' F.Y.S. PROVIDED ALL PARKING
IS LOCATED BEHIND THE FRONT BUILDING LINE.
NONE - SIDE SETBACK



1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL
OF THE CONSULTING ENGINEER, ROANOKE COUNTY & VDOT.

2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL
EXISTING AND PROPOSED STRUCTURES.

3. EXISTING PAVEMENT TO BE SAWCUT AT LEAST 2' FROM THE EXISTING
EDGE OF PAVEMENT OR THE DISTANCE REQUIRED TO REACH THE
FULL DEPTH OF PAVEMENT PER VDOT STD'S.

4. A SIGN PERMIT MUST BE OBTAINED FOR EXISTING AND PROPOSED
SIGNAGE FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF
ANY SIGNAGE. MINIMUM SIGNAGE SETBACK FOR NEW SIGNAGE
SHALL BE 5' IF THE PROPOSED SIGN IS 7' TALL OR LESS AND 10' IF THE
PROPOSED SIGN IS 15' TALL OR LESS.

OTHERWISE, MINIMUM SETBACK SHALL BE 15' IF THE PROPOSED
SIGN IS IN EXCESS OF 15' IN HEIGHT. NOTE THAT NO SIGN SHALL
EXCEED 25' IN IN THE C2 - HIGH INTENSITY COMMERCIAL DISTRICT.

5. ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED,
AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING
STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT
ADJOINING PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.

6. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY
FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR AS
REQUIRED FOR ANY PROPOSED EXTERIOR SITE LIGHTING.

7. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE,
AND ROOFTOP OR GROUND LEVEL MECHANICAL EQUIPMENT IN ALL
ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS.
IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL
EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.

8. G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF
THE BUILDING PER COUNTY OF ROANOKE STANDARDS IN REGARDS TO
MOUNTING HEIGHT AND TYPE OF KNOX BOX. ELEVATOR KNOX BOX SHALL BE
INSTALLED. SEE ARCHITECTURAL PLANS FOR SPECIFIC LOCATIONS.

9. ALL ROOF LEADERS SHALL DISCHARGE TO THE UNDERGROUND STORM WATER
SYSTEM VIA PIPING, TYP.

10. G.C. SHALL PROVIDE THE REQUIRED BACKFLOW PREVENTERS FOR THE
BUILDING AS REQUIRED BY THE INTERNATIONAL BUILDING CODE & WESTERN
VIRGINIA WATER AUTHORITY.

11. G.C. SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER DURING
THE CONSTRUCTION PROCESS. COORDINATE DIRECTLY WITH A.E.P. FOR THIS
SERVICE.

12. ALL SANITARY SEWER CLEANOUTS LOCATED WITHIN PAVED OR CONCRETE
AREAS WITH TRAFFIC SHALL HAVE TRAFFIC BEARING CLEANOUT TOPS
PROVIDED AS A MINIMUM.

13. BACKFLOW PREVENTION SHALL BE INSTALLED BY G.C. IN THE UTILITY ROOM.
SEE M.E.P. FOR ADDITIONAL DETAILS FOR DOMESTIC WATER LINES.

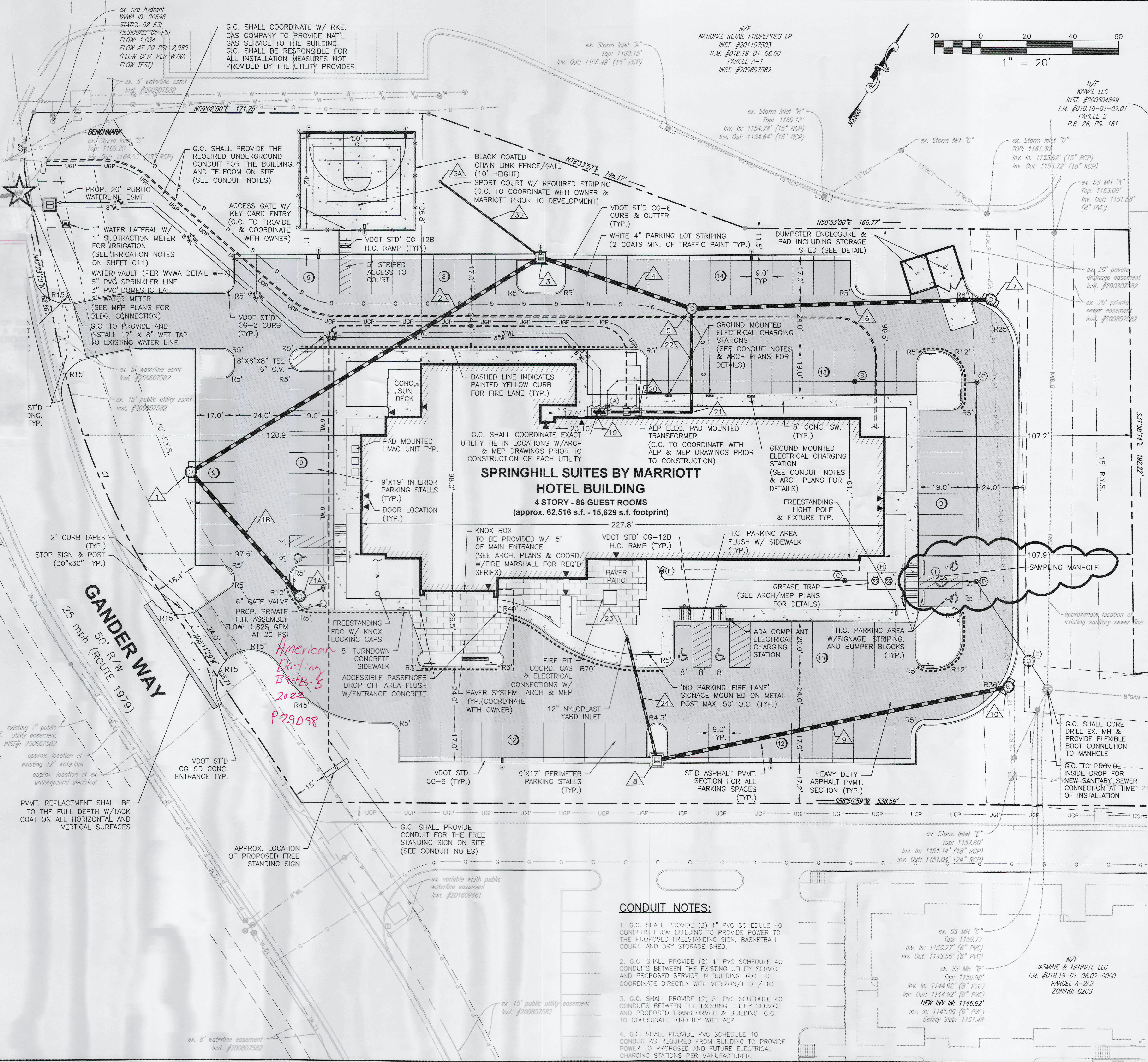
14. DOUBLE CHECK DETECTOR SHALL BE INSTALLED BY G.C. FOR THE FIRE
SERVICE TO THE BUILDING.

FIRE HYDRANT FLOW DATA: (PER W.V.W.A. DATA)

1. EXISTING FIRE HYDRANT
ID: 20608
STATIC: 88 PSI
RESIDUAL: 49 PSI
FLOW: 1,493 GPM
FLOW AT 20 PSI: 2,015 GPM

FIRE LANE INFORMATION:

- CURB SHALL BE PAINTED WITH SAFETY YELLOW FOR ALL FIRE LANE
- SIGN SHALL BE MOUNTED B/T 1' AND 3' OF THE FACE OF CURB.
- SIGN HEIGHT SHALL BE 7' FROM TOP OF SIGN TO TOP OF CURB.



CONDUIT NOTES:

- G.C. SHALL PROVIDE (2) 1" PVC SCHEDULE 40
CONDUITS FROM BUILDING TO PROVIDE POWER TO
THE PROPOSED FREESTANDING SIGN, BASKETBALL
COURT, AND DRY STORAGE SHED.
- G.C. SHALL PROVIDE (2) 4" PVC SCHEDULE 40
CONDUITS BETWEEN THE EXISTING UTILITY SERVICE
AND PROPOSED SERVICE IN BUILDING. G.C. TO
COORDINATE DIRECTLY WITH VERIZON/T.E.C./ETC.
- G.C. SHALL PROVIDE (2) 5" PVC SCHEDULE 40
CONDUITS BETWEEN THE EXISTING UTILITY SERVICE
AND PROPOSED TRANSFORMER & BUILDING. G.C.
TO COORDINATE DIRECTLY WITH AEP.
- G.C. SHALL PROVIDE PVC SCHEDULE 40
CONDUIT AS REQUIRED FROM BUILDING TO PROVIDE
POWER TO PROPOSED AND FUTURE ELECTRICAL
CHARGING STATIONS PER MANUFACTURER.

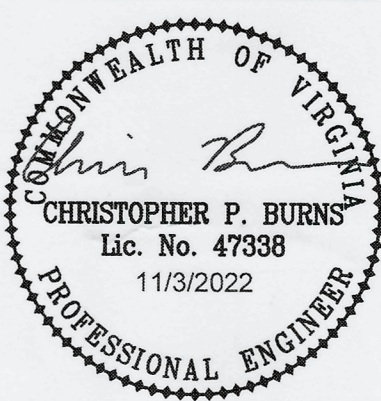


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Asbuilts 6.30.23

Inspector: Bruce Peters
Contractor: Southwest
Excavating

Materials :
8" C900 Pipe Sanderson
8" Tapping Valve AFC
24 turns to left to open

SPRINGHILL SUITES BY MARRIOTT

8171 GANDER WAY

LAYOUT & UTILITY PLAN

DRAWN BY: EJP
DESIGNED BY: BTC
CHECKED BY: CPB
DATE: 12/18/2019
SCALE: 1" = 20'
REVISIONS: 2/6/2020

FR. #1 - 3/31/2022

5/3/2022

FR. #2 - 11/3/2022

C3
PROJECT NO. 04190043.00