

SITE INFORMATION:

OWNER: PELEWOO PROPERTIES, LLC

TAX MAP NUMBERS: 027.10-05-12.00-0000
027.10-05-13.00-0000

SITE ADDRESS: 6802 PETERS CREEK ROAD
ROANOKE, VA 24019

TOTAL SITE AREA: 1.58 AC

ZONING: C-2CS-HIGH INTENSITY COMMERCIAL W/ CONDITIONS & SPECIAL USE
(ORDINANCE #062392-9 AND #062513-7)

ZONING CONDITIONS:

- WITHIN THE PORTION OF THE TRACT 27.10-5-13 THAT HAS BEEN DESCRIBED ON A CONCEPT PLAN PREPARED BY MOTLEY AND ASSOCIATES AND SUBMITTED WITH THE REZONING APPLICATION, ONLY DUSK-TO-DAWN LIGHTS FOR SECURITY PURPOSES WILL BE INSTALLED.
- ALL NON-SECURITY LIGHT POLE FIXTURES SHALL NOT EXCEED 20 FEET.
- TO PROVIDE FOR ADDITIONAL SCREENING, A 6-FOOT FENCE BEGINNING AT THE NORTHWEST CORNER OF THE TRACT 27.10-5-13 AND CONTINUING SOUTH FOR 140 FT. AS WELL AS AN EXTRA 10 FT. OF A 4-FOOT FENCE, WILL BE INSTALLED. ADDITIONALLY, LOW GROUND COVER OF 2-3 FEET IN HEIGHT ALONG THE OUTSIDE OF SAID FENCE WILL BE PLANTED BEGINNING AT THE BUFFER YARD AND CONTINUING UNTIL THE ENTRANCE OF DEER BRANCH ROAD. THE FINISHED SIDE OF THE FENCE WILL BE ORIENTED TOWARD THE ROAD.
- NO EXTERIOR SPEAKERS WILL BE INCLUDED IN THE DEVELOPMENT OF THIS PROPERTY.
- AT THE CORNER OF DEER BRANCH ROAD AND PETERS CREEK ROAD, THE DISPLAY OF VEHICLES WILL BE DONE IN SUCH A WAY AS NOT TO OBSTRUCT THE VIEW OF DRIVERS ENTERING PETERS CREEK ROAD FROM DEER BRANCH ROAD.
- THE DELIVERY OF VEHICLES SHALL NOT OCCUR BETWEEN THE HOURS OF 7 P.M. AND 7 A.M. UNLESS THIS PROCESS TAKES PLACE ON TRACT 27.10-5-12.
- A CONVENIENCE STORE WILL NOT BE CONSTRUCTED ON TRACT 27.10-5-13.

USE & DESIGN STANDARDS: AUTOMOBILE REPAIR SERVICES, MINOR:

- EXTERIOR DISPLAY OR STORAGE OF NEW OR USED AUTOMOBILE PARTS IS PROHIBITED.
- EQUIPMENT AND VEHICLES STORED OVERNIGHT ON THE PREMISES SHALL BE BEHIND THE FRONT BUILDING LINE OR AT LEAST THIRTY-FIVE (35) FEET FROM THE PUBLIC RIGHT-OF-WAY, WHICHEVER IS GREATER.

MAXIMUM HEIGHT OF BUILDING ALLOWED: 45'

PROPOSED BUILDING HEIGHT: APPROX. 14'

SETBACKS FOR C2 ZONING:

FRONT YARD: 30' OR 20' WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE

SIDE YARD: NONE
REAR YARD: 15' (PRIMARY STRUCTURES)
3' (ACCESSORY STRUCTURES)

MAXIMUM BUILDING LOT COVERAGE: 50%

PROPOSED BUILDING LOT COVERAGE: APPROX. 20% FOR OVERALL SITE

MAXIMUM LOT COVERAGE: 90%

PROPOSED LOT COVERAGE: APPROX. 86% FOR OVERALL SITE

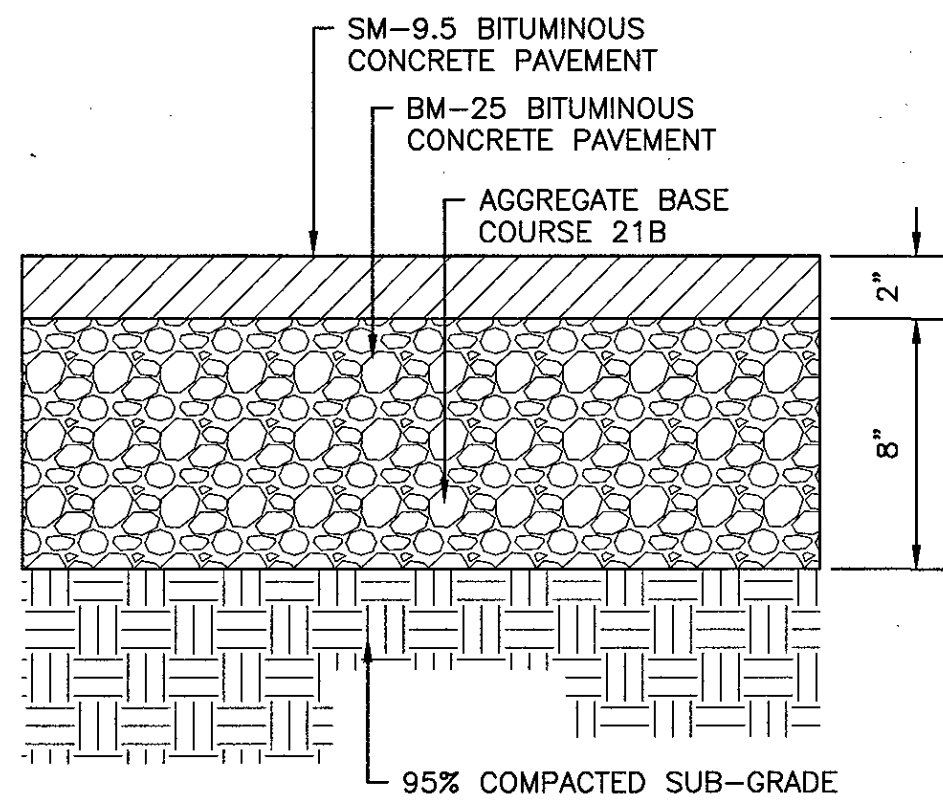
REQUIRED PARKING: 1 SPACE PER SERVICE BAY, PLUS 1 SPACE PER EMPLOYEE
11 SERVICE BAYS + 14 EMPLOYEES = 25 SPACES REQUIRED

EXISTING PARKING: 137 SPACES

PROPOSED PARKING: 88 SPACES TOTAL (4 HANDICAP PROVIDED)

GENERAL SITE NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND ROANOKE COUNTY.
- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- APPROXIMATE FIRE HYDRANT FLOWS OF EX. HYDRANT (WVWA ID 21765): STATIC: 112 PSI, RESIDUAL: 67 PSI, FLOW AT RESIDUAL: 1,256 GPM, FLOW AT 20 PSI: 1,847 GPM (AS PROVIDED BY THE W.V.W.A.)
- ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE AND DRAIN AWAY FROM THE BUILDING.
- THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.
- ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
- ANY NEW OR RELOCATED EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES AND SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 30-94 OF THE ROANOKE COUNTY ZONING ORDINANCE. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE AREAS, AND GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-6(F) OF THE ROANOKE COUNTY ZONING ORDINANCE.
- ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT FROM ROANOKE COUNTY. ALL SIGNAGE MUST MEET THE REQUIREMENTS OF SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.

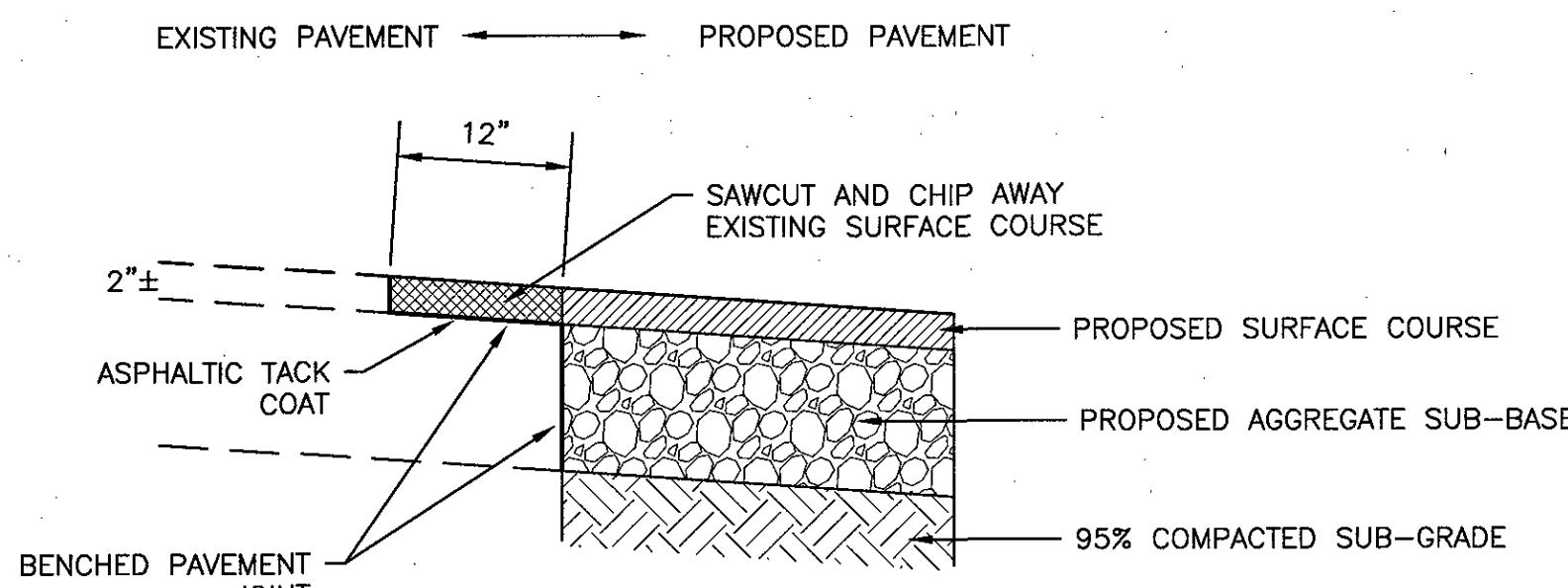


NOTES:

- 8" STONE BASE MUST BE PLACED IN LIFTS OF NO MORE THAN 4" EACH.
- A TACK COAT SHALL BE APPLIED BETWEEN ASPHALT PAVEMENT LAYERS.
- G.C. TO ENSURE A MINIMUM OF 95% COMPACTION OF THE SUBGRADE PRIOR TO STONE/ASPHALT PLACEMENT.

LIGHT DUTY PAVING - DETAIL

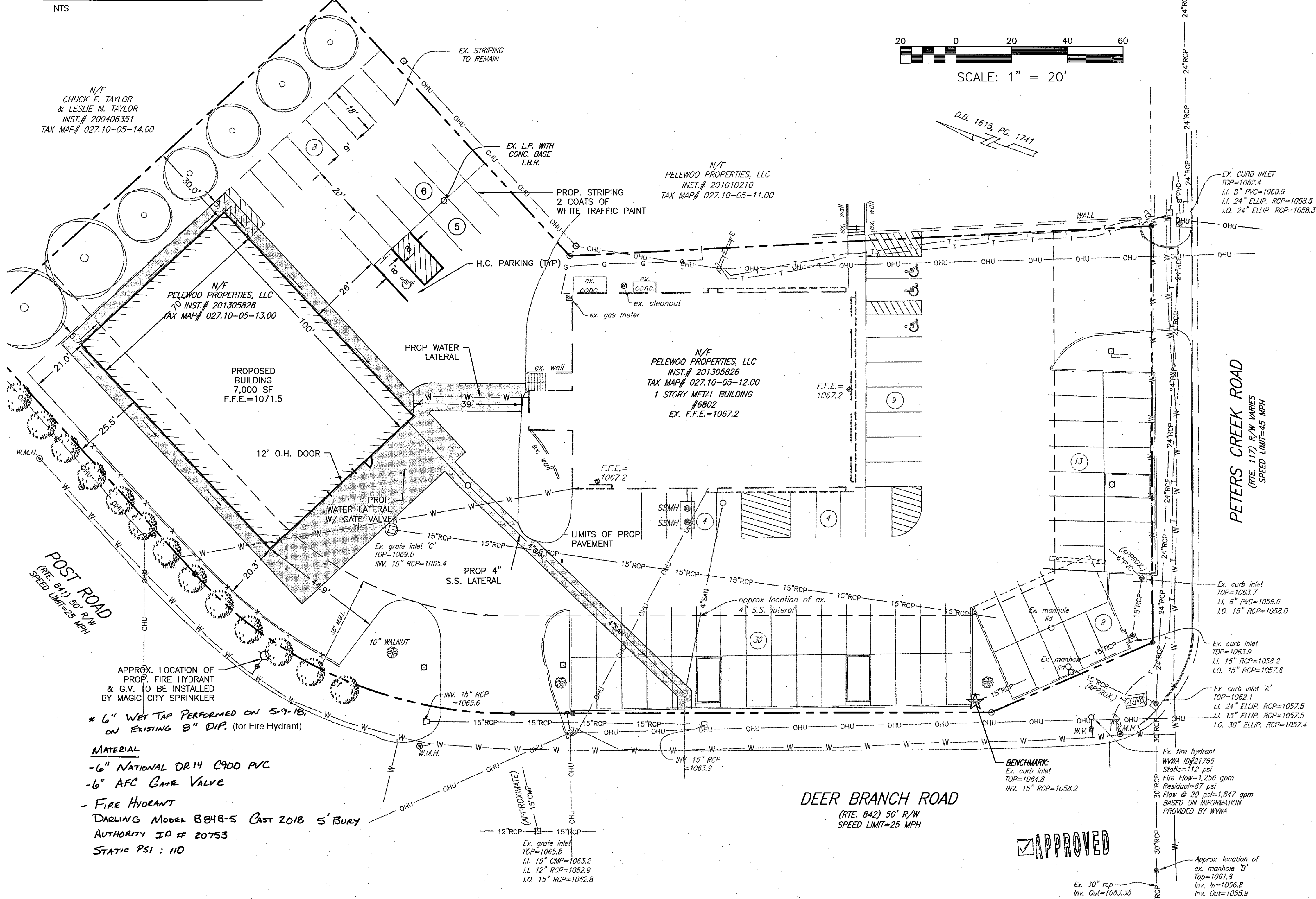
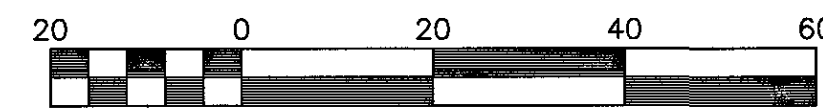
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PAVEMENT JOINT - DETAIL

NTS

CURVE	DELTA	RADIUS	CURVE TABLE		BEARING	CHORD
			ARC	TAN		
C1	47°47'30"	154.07'	128.51'	68.26'	N03°51'42"E	124.82'



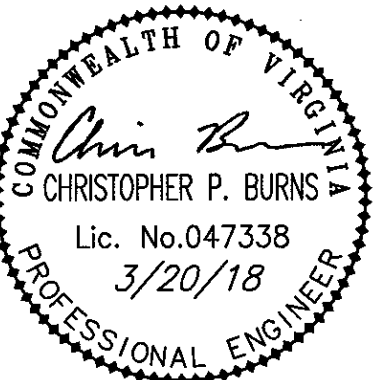
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Balzer and Associates, Inc.

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Roanoke, VA 24018
540-772-9580
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STAR CITY TIRE EXPANSION

8802 PETERS CREEK ROAD

LAYOUT AND UTILITY PLAN

HOLLINS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY KRO

DESIGNED BY CPB

CHECKED BY CPB

DATE 02/21/2018

SCALE 1"=20'

REVISIONS:
3/20/2018

SHEET NO.

C3

JOB NO. 03170147.00