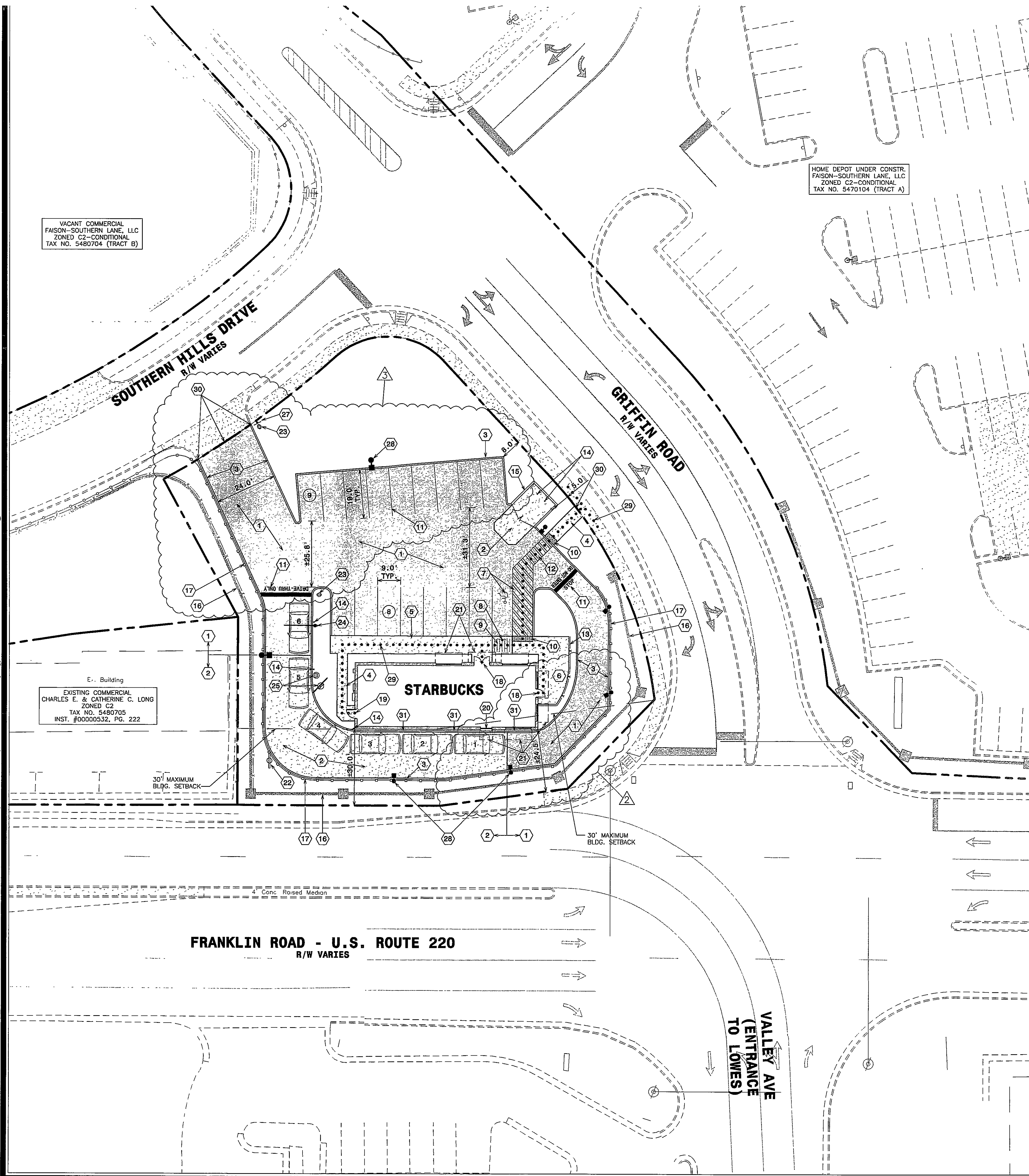


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PAVING AND MARKING NOTES:

1. SEE GENERAL NOTES, THIS SHEET.
2. ALL PAVEMENT SECTION MATERIALS AND INSTALLATION SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
3. GRADED AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
4. ASPHALTIC CONCRETE SHALL BE A PLANT MIX MEETING THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION). THE JOB MIX SHALL MEET THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION) AND SHALL HAVE A MARSHALL STABILITY OF 1250 POUNDS AND A PERCENT VOIDS BETWEEN 4 AND 5.
5. PAINTED PARKING STRIPING SHALL BE 4" WIDE WHITE STRIPES AND BE LOCATED AS SHOWN ON THE PLANS. HANDICAP PARKING STRIPING SHALL BE #184 LIGHT BLUE. DIRECTIONAL STRIPING SHALL BE PAINTED WHITE. PAINT AND ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
6. ALL PAINTED PARKING AREAS SHALL RECEIVE TWO COATS OF STATE DEPARTMENT OF TRANSPORTATION APPROVED PAINT.
7. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE OF THE THERMOPLASTIC OR EPOXY TYPE PER THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).

X SITE PLAN KEY NOTES:

1. ASPHALT PAVEMENT; SEE DETAILS.
2. CONCRETE PAVEMENT, PAINTED LAMP BLACK; SEE DETAILS.
3. CONCRETE CURB; SEE DETAILS.
4. CONCRETE WALK; SEE DETAILS.
5. CONCRETE WALK AND CURB; SEE DETAILS.
6. CONCRETE PATIO, SIMILAR TO CONCRETE WALK.
7. HANDICAP PARKING SPACE/ACCESS AISLE; SEE DETAILS.
8. HANDICAP VAN ACCESSIBLE SIGN IN BOLLARD; SEE DETAILS.
9. HANDICAP RAMP; SEE DETAILS.
10. DROP CURB, WALK TO BE FLUSH WITH PAVEMENT, PROVIDE DETECTABLE WARNING SURFACE; SEE DETAILS.
11. PAVEMENT MARKINGS AS SHOWN, WHITE (U.N.O.).
12. STRIPED CROSSWALK; SEE DETAIL.
13. PATIO FENCE; MATCH FENCE AT RETAINING WALL.
14. BOLLARD; SEE LANDLORD BUILDING PLANS.
15. DUMPSTER ENCLOSURE, ±12'X12'; SEE LANDLORD BUILDING PLANS.
16. RETAINING WALL WITH FENCING, TO BE INSTALLED BY THE FAISON CONTRACTOR PRIOR TO THIS WORK.
17. VOID STANDARD BLOCKED-OUT W-BEAM GUARDRAIL (STRONG POST GR-2). TO BE PROVIDED AND INSTALLED BY FAISON CONTRACTOR. LANDLORD CONTRACTOR SHALL COORDINATE WITH FAISON CONTRACTOR FOR TIMING OF THIS WORK. BACK OF GUARDRAIL POSTS SHALL BE INSTALLED 24" FROM FACE OF CURB. POSTS SHALL BE STEEL AND BURIED 48" MINIMUM. REFER TO SHEETS C16, C17, RECO-1, RECO-2 AND RECO-3 FOR INSTALLATION GUIDELINES WITH REGARD TO EXISTING RETAINING WALL REINFORCEMENT.
18. CUSTOMER ACCESS DOOR
19. SERVICE DOOR
20. DRIVE-THRU WINDOW.
21. OVERHEAD CANOPY, TYP.
22. PYLON SIGN. SHOWN FOR REFERENCE ONLY. SEPARATE SIGN PERMIT SHALL BE SECURED BY TENANT SIGN CONTRACTOR. ANY DEVIATION IN THE LOCATION OF THE SIGN FROM THAT SHOWN ON SHEET C4 MUST BE COORDINATED WITH LANDLORD'S ENGINEER (HGBD) DUE TO STRUCTURAL CHARACTERISTICS OF THE EXISTING RETAINING WALLS. REFER TO SHEETS C16, C17, RECO-1, RECO-2 AND RECO-3 FOR INSTALLATION GUIDELINES WITH REGARD TO EXISTING RETAINING WALL REINFORCEMENT.
23. DRIVE-THRU DIRECTIONAL SIGN.
24. OVERHEAD CLEARANCE BAR WITH SIGN.
25. MENU BOARD AND ORDER CONFIRMATION POST.
26. NOT USED.
27. STOP SIGN; SEE DETAILS.
28. SITE LIGHTING FIXTURE, TYP.; SEE SITE LIGHTING PLAN.
29. INDICATES REQUIRED HANDICAP ACCESSIBLE ROUTE; SEE GRADING PLAN AND SITE DETAIL SHEETS FOR REQUIREMENTS.
30. MATCH TO EXISTING.
31. FILL GAP BETWEEN BUILDING AND CURBING WITH 4" THICK CONCRETE PITCHED AWAY FROM BUILDING WALL. THIS APPLIES TO THE WALL IMMEDIATELY ADJACENT TO THE DRIVE-THRU ONLY.

NOTE FOR ALL SIGNS:
SEE LANDLORD BUILDING PLANS FOR FOOTER DETAILS AND FOR SIGN LOCATIONS
SEE TENANT BUILDING PLANS FOR SIGNAGE DETAILS.
FOOTERS SHALL BE PROVIDED & INSTALLED BY LANDLORD CONTRACTOR.
SIGNS SHALL BE PROVIDED & INSTALLED BY TENANT CONTRACTOR.
SIGN PERMITS SHALL BE SECURED BY TENANT.

SITE DATA

SITE ADDRESS	4109 SOUTHERN HILLS DRIVE, SW
SITE AREA	0.555 ACRES
DISTURBED AREA	0.555 ACRES
TAX PARCEL #	5480718
LOT/SUBDIVISION	TRACT C, PINE GROVE SUBDIVISION RECORDED IN MAP BOOK 1, PAGES 3012-3016
CURRENT ZONING	CG CONDITIONAL
BUILDING AREA	1872 SF
BUILDING HEIGHT	21'-0"
PARKING REQUIRED (MIN.)	1 SPACE / 60 SF SEATING AREA 1020 SF / 60 => 17 SPACES
REQUIRED (MAX.)	N/A
PROVIDED	17 SPACES
ACCESSIBLE	1 REQUIRED & PROVIDED
DRIVE THROUGH STACKING REQUIRED	5 SPACES
PROVIDED	6 SPACES
LOADING SPACE REQUIRED	N/A
PROVIDED	N/A

* BUILDING INFORMATION PROVIDED FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS.

MAP NOTE:

ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS HAS BEEN TAKEN FROM THE "SITE DEVELOPMENT PLANS FOR HOME DEPOT", PREPARED FOR FAISON BY MATTERN & CRAIG. NO SITE SPECIFIC BOUNDARY OR TOPOGRAPHIC SURVEY HAS BEEN PERFORMED FOR THIS PROJECT AT THE TIME OF THESE PLANS. SOME ITEMS NOTED AS EXISTING ARE ITEMS THAT ARE PROPOSED TO BE CONSTRUCTION BY FAISON CONTRACTOR AND ARE INTENDED TO BE COMPLETE AT THE COMMENCEMENT OF THE STARBUCKS SITE CONSTRUCTION WORK.

CONTRACTOR NAMING CONVENTION:

FOR THE PURPOSES OF THESE SITE DEVELOPMENT PLANS, THE FOLLOWING NAMING CONVENTION IS USED TO DISTINGUISH BETWEEN THE DIFFERENT CONTRACTORS WORKING ON THIS PROJECT.

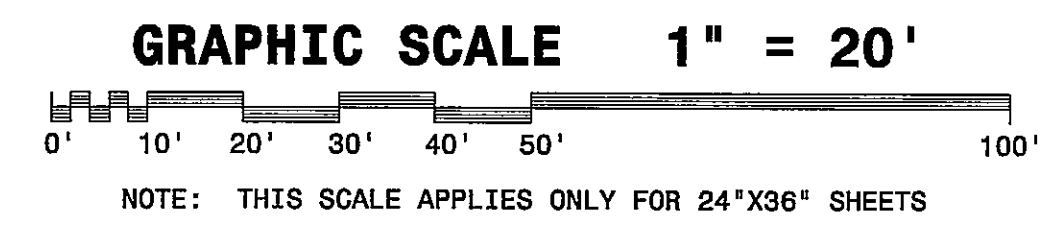
FAISON CONTRACTOR: SHALL REFER TO THE GENERAL CONTRACTOR AND ALL ASSOCIATED SUB-CONTRACTORS HIRED BY EITHER FAISON OR HOME DEPOT, PRIMARILY FOR THE SHOPPING CENTER CONSTRUCTION, BUT PERFORMING SOME EARLY GRADING AND UTILITY WORK ON THIS SITE.

LANDLORD CONTRACTOR: SHALL REFER TO THE GENERAL CONTRACTOR AND ALL ASSOCIATED SUB-CONTRACTORS HIRED BY MOSELEY REA PRIMARILY FOR THE SITE WORK AND BUILDING SHELL CONSTRUCTION ASSOCIATED WITH THIS SITE.

TENANT CONTRACTOR: SHALL REFER TO THE GENERAL CONTRACTOR AND ALL ASSOCIATED SUB-CONTRACTORS HIRED BY STARBUCKS PRIMARILY FOR TENANT UPFIT CONSTRUCTION RELATED TO THIS SITE AND BUILDING.

GENERAL NOTES:

1. ALL CONTRACTORS/SUBCONTRACTORS SHALL BE AWARE OF THE LANDLORD WORKLETTER, DETAILING RESPONSIBILITIES BETWEEN THE LANDLORDS CONTRACTOR AND THE TENANT CONTRACTOR. THIS WORKLETTER IS REPRODUCED IN THE LANDLORD BUILDING PLANS AND SHOULD BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS. ALL CONTRACTORS/SUBCONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN A COPY OF THIS WORKLETTER, BECOME FAMILIAR WITH IT AND FOLLOW THE SCOPE OF WORK CONTAINED WITHIN IT. THEY SHALL ALSO BE RESPONSIBLE TO IMMEDIATELY MAKE THE MOSELEY REA CONSTRUCTION MANAGER AWARE OF ANY DISCREPANCIES BETWEEN THE WORKLETTER AND ANY OF THE OTHER CONSTRUCTION DOCUMENTS.
2. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
3. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN ALL GENERAL CONTRACTORS AND ANY SUBCONTRACTORS OR VENDORS PERFORMING CONSTRUCTION ON THE SITE.
4. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. EXISTING CONDITION REPRESENTATIONS HAVE BEEN TAKEN FROM THE DEVELOPER'S PLANS (SEE MAP NOTE) AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT MISS UTILITY OF VIRGINIA, 1-800-552-7001 AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
8. ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER TAKES PRECEDENCE.
9. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
11. GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
12. ANY CONSTRUCTION TRAILERS USED ON-SITE SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJOINING PROPERTIES (i.e. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS etc.). CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATOR REQUIREMENTS.
14. CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
15. THE LANDLORD GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LEGAL MANNER.
17. IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
18. THE CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AVAILABLE FROM THE OWNER AND COMPLY WITH ALL REPORT RECOMMENDATIONS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.



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REVISIONS:
#1 02/02/2007 PER CITY COMMENTS
#2 03/20/2007 PER CITY & WALL
#3 04/04/2007 PER WALL

DESIGNED GFJ	DRAWN GFJ	CHECKED AET
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DATE: NOV. 17, 2006

JOB NO. 405105988

SCALE: 1" = 20'

STARBUCKS COFFEE SHOP
FRANKLIN ROAD AT GRIFFIN ROAD & SOUTHERN HILLS DRIVE
CITY OF ROANOKE, VIRGINIA

FOR
MOSELEY REA

SITE PLAN

DRAWING NUMBER
C3