

DESIGN AND DEVELOPMENT CONTACTS

DEVELOPER: VERTICAL CONSTRUCTION MANAGEMENT  
1209 SOUTH WHITE CHAPEL BOULEVARD, SUITE 180  
SOUTH LAKE, TX 76092  
CONTACT: JOSHUA BAZIS  
TEL: (817) 527-2357

OWNER: VRE ROANOKE LLC  
1211 SOUTH WHITE CHAPEL BOULEVARD  
SOUTH LAKE, TX 76092  
CONTACT: MIKE SANGALINE  
TEL: (817) 912-5372

ENGINEER: CHRISTOPHER CONSULTANTS  
9417 INNOVATION DRIVE  
MANASSAS, VA 20110  
CONTACT: ERIC BOGUMIL  
TEL: (703) 393-9887

ARCHITECT: ROGUE ARCHITECTS  
515 MAIN STREET, SUITE 300  
FORT WORTH, TX 76102  
CONTACT: MELISSA HABA  
TEL: (817) 529-6855

SURVEYOR: CHRISTOPHER CONSULTANTS  
9417 INNOVATION DRIVE  
MANASSAS, VA 20110  
CONTACT: BRENT EVANS, LS  
TEL: (703) 393-9887

DESIGN AND DEVELOPMENT CONTACTS:

PLANNING BUILDING & DEVELOPMENT: PLANNING BUILDING & DEVELOPMENT  
215 CHURCH AVENUE SW ROOM 166  
ROANOKE, VA 24011  
CONTACT:  
TEL: (540) 853-1730

FIRE DEPARTMENT: ROANOKE FIRE-EMS ADMINISTRATION  
713 THIRD ST. SW  
ROANOKE, VA 24016  
TEL: (540) 853-2327

STORMWATER: CITY OF ROANOKE STORMWATER DIVISION  
PUBLIC WORKS SERVICE CENTER  
1802 COURTLAND RD., NE  
ROANOKE, VA 24012  
TEL: (540) 853-5400

TRANSPORTATION: CITY OF ROANOKE DEPARTMENT OF TRANSPORTATION  
PUBLIC WORKS SERVICE CENTER  
1802 COURTLAND RD., NE  
ROANOKE, VA 24011  
TEL: (540) 853-2676

WATER/SEWER: WESTERN VIRGINIA WATER AUTHORITY  
601 S. JEFFERSON STREET  
ROANOKE, VA 24011  
TEL: (540) 853-5700

UTILITY CONTACTS:

ELECTRIC: APPALACHIAN POWER  
TEL: (800) 967-4237

GAS COMPANY: ROANOKE GAS COMPANY  
519 KIMBALL AVE. NE  
ROANOKE, VA 24016  
TEL: (540) 777-4427

TELEPHONE: VERIZON  
43 BELLS HILL ROAD  
STAFFORD, VA 22554  
TEL: (800) 284-7006

FLOOD NOTE:

THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 5161C0166 G, WITH AN EFFECTIVE DATE OF SEPTEMBER 28, 2007.

BY GRAPHICAL DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN:

- FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

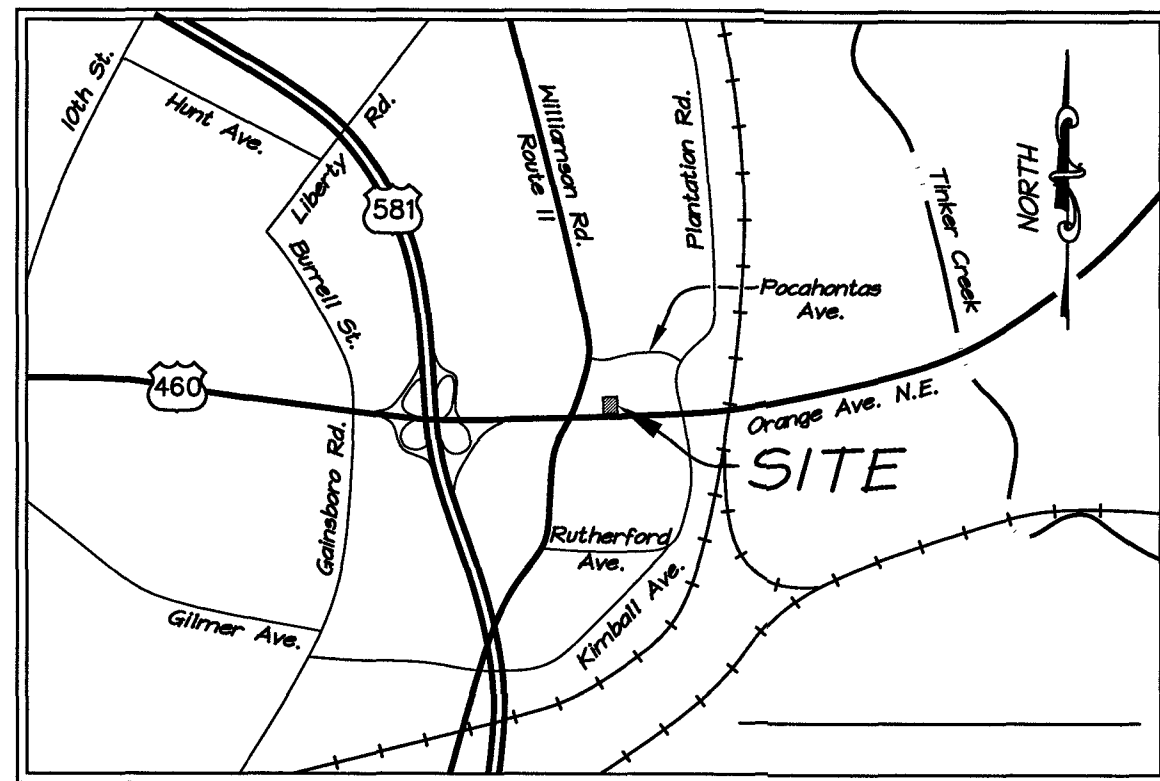
ALERT TO CONTRACTOR:

- THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

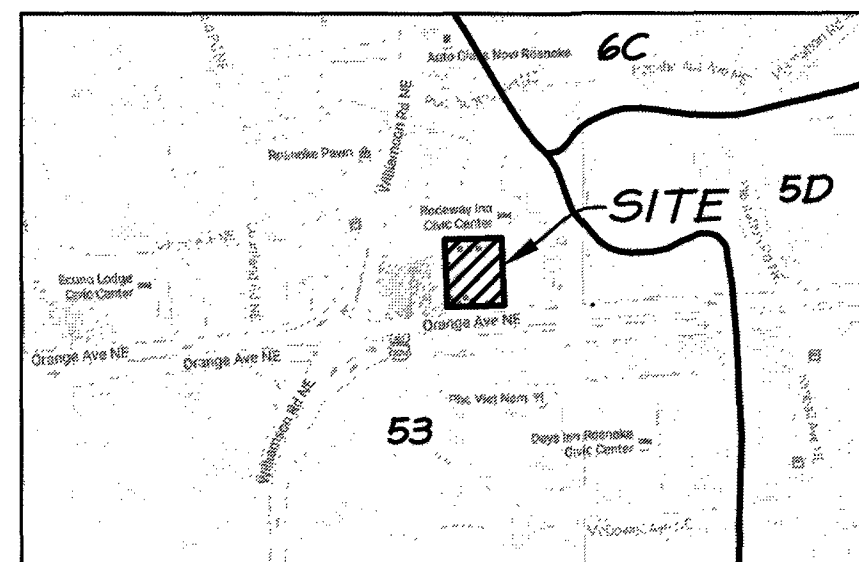
WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WYVA DESIGN AND CONSTRUCTION STANDARDS
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK AT (540) 537-3460.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY.
- FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WYVA STANDARDS SHALL BE ENFORCED.
- ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.
- SHOW AT ALL PROPOSED FIRE HYDRANT THE STATIC PRESSURE (PSI) AND FIRE FLOW (GPM) WITH 20 PSI RESIDUAL.

COMPREHENSIVE  
DEVELOPMENT PLAN  
FOR  
ROANOKE STORE #471  
526 ORANGE AVENUE NE  
CITY OF ROANOKE, VIRGINIA  
TAX MAP # 3020206



VICINITY MAP  
SCALE: 1" = 2000'



SOILS MAP  
1"=500'

SOILS GROUP	DESIGNATION	NAME
53		URBAN LAND

CONSTRUCTION PROCEDURE REQUIREMENTS

- RIGHT OF WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
- PLANS AND PERMIT - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATIONS OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
- STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
- APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGES OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND DIGITAL AUTOCAD FILE.

ZONING REQUIREMENTS:

CG - GENERAL COMMERCIAL		
	REQUIRED	PROVIDED
LOT AREA	10,000 SF (MIN)	25,851 SF
LOT FRONTAGE	100'	148'
YARDS- FRONT	30' (MAX)	29.9'
REAR	N/A	70.0'
SIDE	N/A	32.5', 79.6'
MAX. BUILDING HEIGHT:	45' (MAX)	24'
IMPERVIOUS AREA	85% (MAX)	79%

PARKING SCHEDULE:

EATING/DRINKING ESTABLISHMENT: 2,200 SF GFA (1,650 NFA)  
1 SP / 100SF(NFA) = 16.50 SP

OUTDOOR PATIO AREA:  
400 SF

1 SP / 100SF = 4 SP

PARKING REQUIRED = 16.50 + 4 = 21 SP  
LOADING REQUIRED = 1 SP  
HANDICAP REQUIRED = 1 SP

PARKING PROVIDED = 22 SP  
LOADING PROVIDED = 1 SP  
HANDICAP PROVIDED = 2 SP

SITE NOTES:

- THE PURPOSE OF THIS PLAN IS THE CONSTRUCTION OF A RETAIL BUILDING, PARKING AND ASSOCIATED SITE FEATURES INCLUDING SIDEWALK, LIGHTING, LANDSCAPING, AND UTILITIES.
- THE PROPERTY DELINEATED HEREON IS LOCATED ON CITY OF ROANOKE TAX MAP AND IS NOW IN THE NAME OF:  
TAX # 3020206 OWNER VERDAD REAL ESTATE D.B. # PG. D.B. 1444 PG. 1060
- THE PROPERTY IS ZONING CLASSIFICATION CG (GENERAL COMMERCIAL), AND IS SUBJECT TO THE CITY OF ROANOKE ZONING ORDINANCE.
- THE TOPOGRAPHY IS SHOWN AT 1' INTERVALS AND IS REFERENCED TO THE NAD 83 HORIZONTAL AND NAVD 88 VERTICAL DATUMS AND WAS OBTAINED FROM SURVEYS PERFORMED BY THIS FIRM ON MARCH 2, 2016.
- THE BOUNDARY INFORMATION IS BASED ON AN ALTA SURVEY PREPARED BY THIS FIRM.
- ALL HANDICAPPED SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO HAZARDOUS OR TOXIC SUBSTANCES ON SITE. ANY PETROLEUM PRODUCTS UTILIZED, STORED, TREATED AND/OR DISPOSED SHALL COMPLY WITH FEDERAL AND STATE REGULATIONS.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GRAVES, BURIAL SITES, OR HISTORIC SITES LOCATED ON THIS PROPERTY.
- THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' NOTIFICATION CENTER OF PROPOSED EXCAVATION, DEMOLITION, OR BLASTING AT LEAST TWO WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION, DEMOLITION, OR BLASTING IN ACCORDANCE WITH THE VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT. IN ADDITION, NAME AND TELEPHONE NUMBERS SHALL AS BE USED TO SERVE IN EMERGENCY CONDITION. CONTACT 'MISS UTILITY' AT 811.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION AND CONSTRUCTION PROPOSED UNDER SEPARATE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES, BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS/HER FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, THEY SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITIES AND ENSURE THE CONTINUANCE OF SERVICE.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS/ THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULE OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- THE SITE SHALL BE SERVED BY PUBLIC WATER AND SEWER AS SHOWN ON THIS PLAN.
- ALL UTILITIES INCLUDING ALL POLES, ARE TO BE RELOCATED AT THE DEVELOPER'S EXPENSE, PRIOR TO CONSTRUCTION, IF REQUIRED.
- THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF THE PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
- ADDITIONAL DITCH LININGS OR SILTATION CONTROL MEASURES SHALL BE PROVIDED, AT THE DEVELOPER'S EXPENSE, AS DETERMINED NECESSARY BY THE CITY OF ROANOKE AND/OR VDOT DURING FIELD REVIEW. ALL COST SHALL BE ASSUMED BY THE DEVELOPER.
- ALL SIGNS SHALL BE ACCORDANCE WITH THE CITY CODE REQUIREMENTS AND REQUIRE A SEPARATE REVIEW AND PERMIT.
- PRIOR TO ISSUING A PERMIT THAT ALLOWS ANY LAND DISTURBANCE, RELATED TO A FINAL SITE AND SUBDIVISION PLAN, ALL RELATED WETLANDS PERMIT REQUIRED BY FEDERAL, STATE AND LOCALS LAWS AND REGULATIONS SHALL BE OBTAINED AND EVIDENCE OF SUCH SHALL BE SUBMITTED TO THE CITY.
- THERE ARE NO RPA'S LOCATED ON THE SUBJECT PROPERTY. THERE ARE NO FLOODPLAINS LOCATED ON THE SUBJECT PROPERTY.
- ANY ONSITE EXISTING SEPTIC FIELDS AND/OR WELL LOCATED ON SITE SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT STATE REGULATIONS.
- WYVA WILL BE RESPONSIBLE FOR MAKING THE WATERLINE TAP TO THE EXISTING WATERLINE. THE ONSITE CONTRACTOR WILL PROVIDE THE TAPPING SLEEVE, VALVE, AND ALL APPURTENANCES FOR THE FIRE HYDRANT. THE ONSITE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR CUTTING THE ROAD AND PROVIDING TRAFFIC CONTROL AS REQUIRED.

LEGEND

- COVER SHEET
- CONSTRUCTION DETAILS
- ACCESSIBILITY NOTES
- ACCESSIBILITY DETAILS
- DEMOLITION PLAN
- SITE PLAN
- GRADING PLAN
- UTILITY PROFILES
- DRAINAGE AREA MAP & STORMWATER NARRATIVE
- BMP CONSTRAINTS
- EROSION AND SEDIMENT CONTROL PLAN PHASE I & II
- EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- LANDSCAPE PLAN
- SITE LIGHTING PLAN
- FIRE LANE AND SIGNAGE PLAN
- WATERLINE ANALYSIS

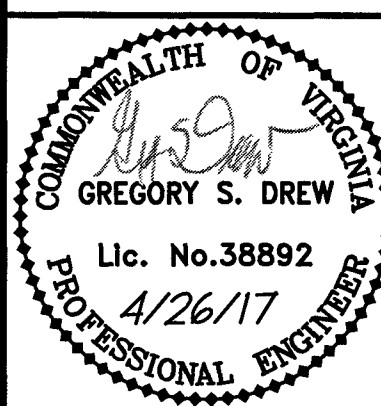
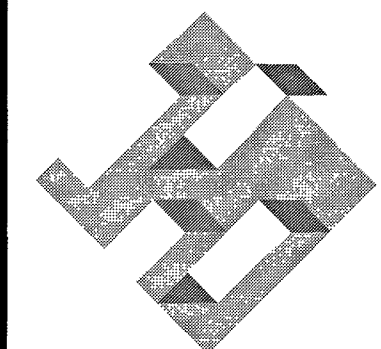
CHARLES CRUSH

AS-BUILTS

08-31-17

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE, AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS

christopher consultants  
9417 innovation drive · manassas, va 20110  
phone 703.393.9887 · fax 703.393.9076



COVER SHEET

COMPREHENSIVE  
DEVELOPMENT PLAN  
ROANOKE STORE #471  
526 ORANGE AVENUE NE  
CITY OF ROANOKE, VIRGINIA

PROJECT NO:15152.002.00

SCALE:  
AS SHOWN

DATE: 11/9/16

DESIGN: EB  
DRAWN: EFT  
CHECKED: GSD

SHEET No.

01 OF 16

107222