

## SITE STATISTICS:

Tax Number: 6021103  
Address: 102 Westside Blvd, N.W.  
Parcel Total Area: 61.27 Acres (2,668,956 sf)  
Current Owner: Roanoke Electric Steel Corp.  
Disturbed Limits Area: 0.602 Acres (26,215 sf)  
Zoned: I-2, 400-Commercial/Industrial  
Existing Use: Asphalt working area  
Proposed Use: New Accessory Structure - Parts Warehouse

Minimum Frontage Required: 100'; Maximum Frontage: None  
Minimum Lot Size: 20,000 sf; Maximum Lot Size: None; Actual: 161.27 acres  
Maximum Impervious Area: 90%

Water: provided by WVWA  
Sewer: connected to existing on-site sewerage system.  
Lighting: See notes on Site Plan  
Landscape Requirements: See Landscape Plan.  
Dumpster: No dumpster's are proposed for this project.  
Roof mounted equipment: No building, or roof mounted equipment is proposed for this project.  
No outside storage is proposed

**Parking**  
1 Parking space per 5,000 sq ft is required.  
8 spaces provided, 3 spaces required, 1 must be ADA accessible.

# Spare Parts Warehouse

## PREPARED FOR

### Steel Dynamics

### City of Roanoke, VA

### CP17-0038

August 16, 2017

Latest Revision: December 14, 2017

## GENERAL NOTES:

1. The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within  $\pm 2$  percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
2. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
3. The contractor shall be responsible for obtaining all necessary permits before beginning construction.
4. It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
5. Owner is responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
6. All construction will be in accordance with City of Roanoke standards and specifications.
7. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
8. Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
9. An approved set of plans and all permits must be available at the construction site.
10. Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
11. Contractor shall coordinate installation of any new permanent electrical service, telephone service, gas and cable TV. These utilities lines shall be installed underground in accordance with City code 36.2-610.
12. Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
13. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
14. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility", 1-800-552-7001.
15. All storm will be visually inspected by the City's inspector prior to backfilling the trenches.
16. Distances and radii referred to are to the face of curb, unless otherwise noted.
17. Any Rights-of-way, lot lines, and easements to be dedicated will be done on plats separate from these plans.
18. Pavement sections on approved plans are based on a minimum CBR of 7.
19. Lighting shall not glare onto adjoining properties or on any public street right-of-way.
20. Proposed signage shall be permitted separately in accordance with the City of Roanoke regulations and/or proffered conditions.
21. A pre-construction conference should be scheduled with the City of Roanoke Department of Planning Building and Development, to be held at least forty eight (48) hrs prior to any construction.
22. A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the owner shall install additional measures as determined and required by the City.
23. Field corrections shall be approved by the development engineer in the City of Roanoke Department of Planning Building and Development prior to such construction.
24. Field construction shall honor proposed drainage divides as shown on plans.
25. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
26. Contractor shall maintain two-way traffic at all times. Street closures are not allowed unless authorized by the City Traffic Engineer.
27. No site lighting shall be constructed without the approval of a lighting plan.

## ENGINEER NOTES:

Parker Design Group assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.

Any work commenced on a project prior to plan approval is at the sole risk of the developer.

Parker Design Group does not guarantee the completion or quality of performance of the contracts or the completion or quality of contracts by Subcontractors or other third parties.

## STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

**NOTICE:** All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

**RIGHT-OF-WAY EXCAVATION PERMIT:** Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

**LAND DISTURBANCE PERMIT:** An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

**PLANS AND PERMITS:** A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

**LOCATION OF UTILITIES:** The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

**CONSTRUCTION ENTRANCE:** The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

**STREETS TO REMAIN CLEAN:** It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

**BARRICADES/DITCHES:** The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

**SEWER AND PAVEMENT REPLACEMENT:** Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

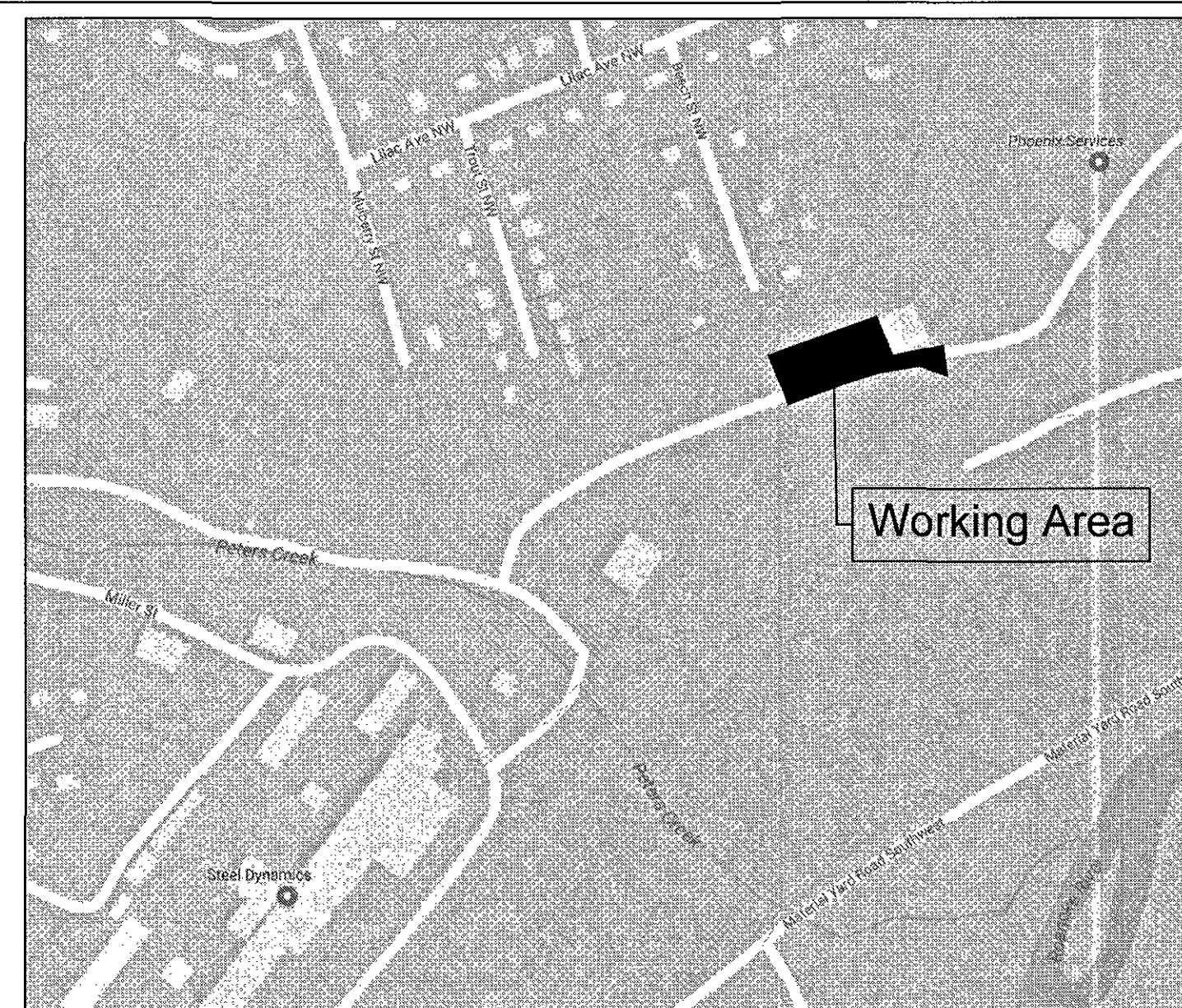
**APPROVED PLANS/CONSTRUCTION CHANGES:** Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

**FINAL ACCEPTANCE/CITY:** The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a FIELD SURVEY Final correct set of as-built plans of the newly constructed storm drain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

Miss Utility of Virginia  
204 RIVERS BEND BOULEVARD  
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN  
VIRGINIA! CALL 1-800-552-7001  
VA LAW REQUIRES 48 HOURS  
NOTICE BEFORE YOU EXCAVATE.



VICINITY MAP

NO SCALE

## CONTACT INFORMATION:

**Engineer/  
Surveyor:** Parker Design Group  
2122 Carolina Ave SW  
Roanoke, VA 24014  
Ph. 540.387.1153  
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**Owner:** Roanoke Electric Steel Corp.  
PO Box 13948  
Roanoke, VA 24038

**Developer:** Steel Dynamics, Inc.  
102 Westside Blvd., N.W.  
Roanoke, VA 24017

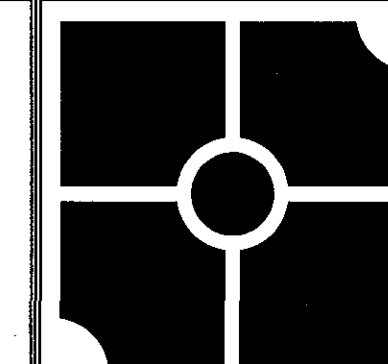
## SHEET INDEX:

C01	COVER SHEET
C02	EXISTING COND, DEMO, & INITIAL ESC PLAN
C03	SITE LAYOUT & DIMENSIONAL PLAN
C04	STORM SYSTEM
C05	GRADING & EROSION CONTROL PLAN
C06	ESC NARRATIVE
C07	ESC DETAILS
C08	STORM PROFILES
C09	STORM DETAILS
C10	SITE DETAILS
L01	LANDSCAPE PLAN, NOTES, & DETAILS

## LOCAL APPROVALS:

As-Built: 04/24/2018

City of Roanoke  
Planning, Building, & Development  
EROSION AND SEDIMENT CONTROL PLAN  
**APPROVED**  
By Adrian Gilbert 12/22/2017



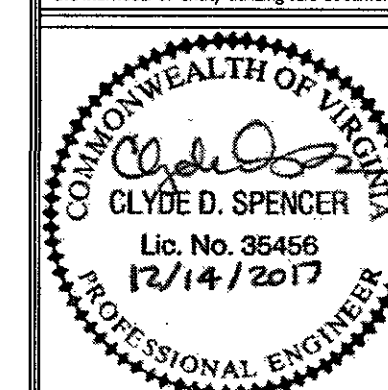
**parker**  
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**STEEL DYNAMICS**  
**Spare Parts Warehouse 2017**  
Tax # 6021103  
City of Roanoke, Virginia

## REVISIONS:

Rev. 1: per City Comments 2017-09-13
Rev. 1: Completed 2017-09-16
Rev. 2: Client Information
Rev. 2: Completed 2017-09-27
Rev. 3: Revised for construction
Rev. 3: Completed 2017-10-16
Rev. 4: Revised for Water & Dev
Rev. 4: Completed 2017-11-01
Field Rev. #1: Utility Conflicts
Field Rev. #1: Completed 2017-12-14

**DESIGNED BY:** CDS

**DRAWN BY:** CDS

**CHECKED BY:** SRB

**DATE:**  
September 18, 2017

**SHEET TITLE:**  
**Cover Sheet**  
**SCALE:**

**SHEET NO.**

**C01**