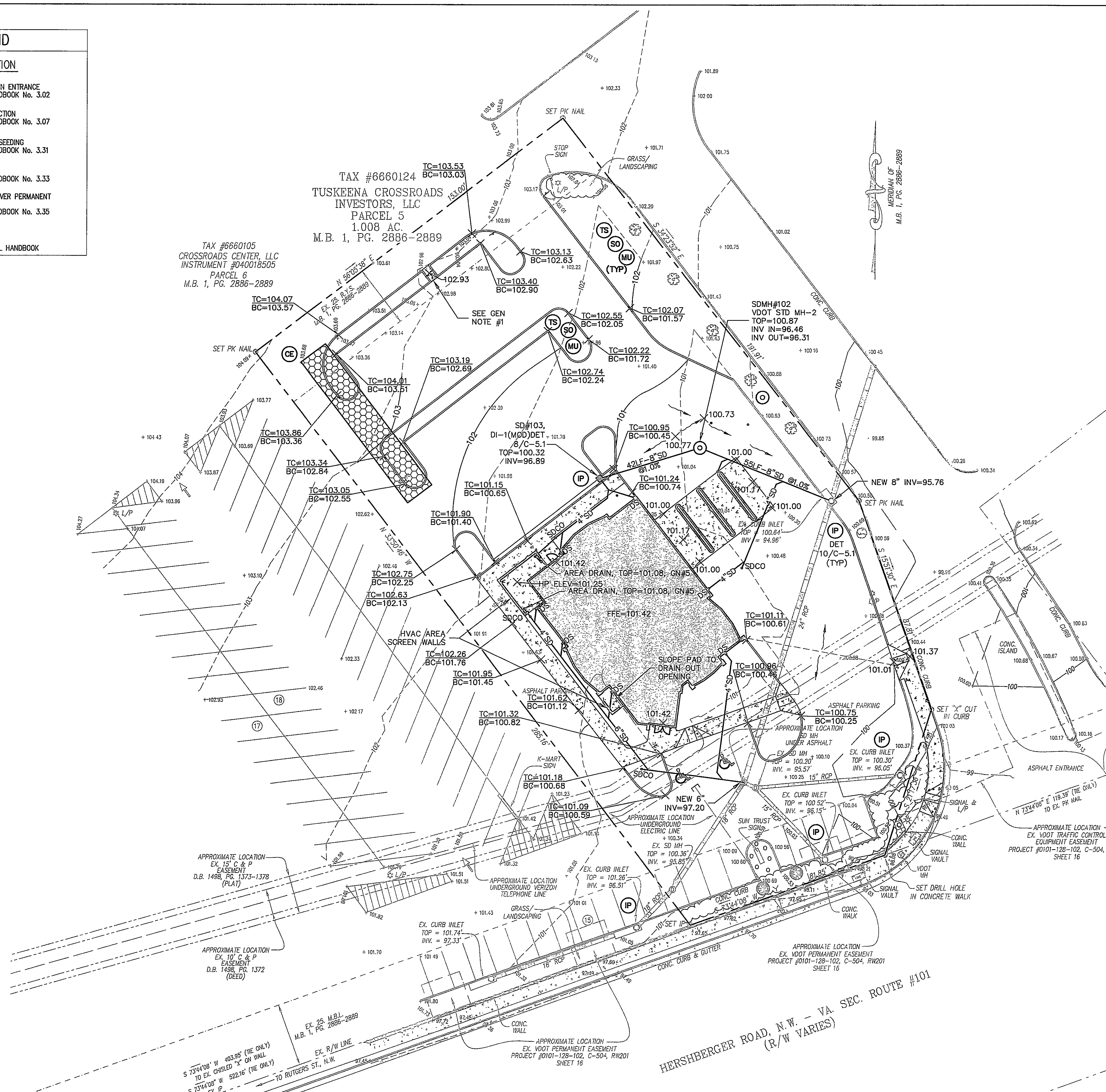


PROPOSED	DESCRIPTION
CE	CONSTRUCTION ENTRANCE VA ESC HANDBOOK No. 3.02
IP	INLET PROTECTION VA ESC HANDBOOK No. 3.07
TS	TEMPORARY SEEDING VA ESC HANDBOOK No. 3.31
SO	SODDING VA ESC HANDBOOK No. 3.33
MU	MULCHING (OVER PERMANENT SEEDING) VA ESC HANDBOOK No. 3.35
	FLOW PATH
SEE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK	

### CITY NOTES

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS  
Failure to comply with the Construction Procedure Requirements listed below may result in the costly removal of structures, time delays or the issuance of a stop work order.

- City Inspections:**  
To insure the coordination of timely and proper inspections, a pre-construction conference shall be initiated by the applicant, builder, etc., with the Development Inspector. Call (540) 853-1227 to arrange a conference at least three (3) days prior to anticipated construction.
- Right-of-Way Excavation Permit**  
Prior to the commencement of any digging, alteration or construction within the the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
- Land Disturbance Permit**  
An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
- Plans and Permits:**  
A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
- Location of Utilities:**  
The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- Construction Entrance:**  
The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
- Streets to Remain Clean:**  
It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.
- Barricades/Ditches:**  
The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- Sewer and Pavement Replacement:**  
Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
- Approved Plans/Construction Changes:**  
Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
- Final Acceptance/City:**  
The owner or developer shall furnish the City of Roanoke's Planning, Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

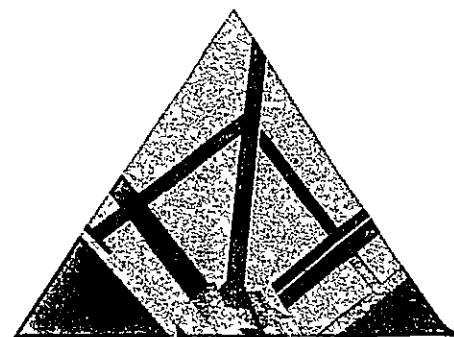


1" = 20'-0"

### KEY PLAN

### GENERAL NOTES

- CURB WITHIN NORTHERN PARKING ISLAND IS INTENDED TO BE 6" ABOVE EXISTING ASPHALT SURFACES. SPOT ELEVATIONS HAVE BEEN INDICATED BUT SHALL BE FIELD VERIFIED.
- WHERE CURBING IS SHOWN, NO PONDING SHALL OCCUR. CONTRACTOR SHALL NOTIFY A/E IF ANY LOCAL PAVEMENT CONDITIONS ARE FIELD CHECKED AND SHOW POSSIBILITIES OF POTENTIAL PONDING. NOTIFICATION SHALL BE MADE PRIOR TO INSTALLING FORM WORK TO ALLOW ENOUGH TIME TO MAKE ALTERATIONS WITHOUT DELAYS IN WORK. LATENT REQUESTS FOR COMPENSATION FOR REWORK WHERE NOTIFICATION HAS NOT OCCURRED WILL NOT BE CONSIDERED.
- ELEVATIONS WHERE NEW ASPHALT ABUTS OLD ASPHALT ARE TO BE FLUSH.
- STONE EXISTS BENEATH EXISTING ASPHALT TO BE REMOVED. STONE SHALL BE RETAINED FOLLOWING DEMOLITION AND USED AS CONSTRUCTION ROAD STABILIZATION UNTIL FINISH GRADES ARE SET.
- 6" SLOTTED CAST IRON FLOOR DRAIN WITH 4" OUTLET, SUITABLE FOR CONCRETE.



SPECTRUM DESIGN

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.6001  
ROANOKE • MARION

SUN TRUST BANK -  
CROSSROADS MALL

NEW BANK  
FACILITY

SPECTRUM DESIGN PROJECT NO. 06038



DATE 22 AUGUST, 2006  
DESIGN ARCHITECT  
PROJECT ARCHITECT  
PROJECT ENGINEER  
CHECKED BY  
DRAWN BY  
REVISIONS NUMBER DATE

SHEET TITLE

GRADING, DRAINAGE  
& ESC PLAN

C-1.3