

EROSION & SEDIMENT CONTROL
NARRATIVE

Sun Trust Bank - Crossroads Mall
New Bank Facility
1315 Hershberger Rd, NW
Roanoke, Virginia

PROJECT DESCRIPTION

The purpose of this project is the construction of a new bank building to replace a dated building on the same site. Existing parking, utilities, and storm drainage will be modified to serve the new building. The site is 1.008 acres and is located at the intersection of Hershberger Road, NW and Bean Street, NW within the City of Roanoke at Crossroads Mall.

EROSION POTENTIAL

No erosion is anticipated with the project. Asphalt will be removed exposing base stone only. The only soil disturbance will be for footings for the new building.

EROSION AND SEDIMENT CONTROL MEASURES

(Shall be installed as a first step measure prior to upstream disturbance)

STRUCTURAL PRACTICES

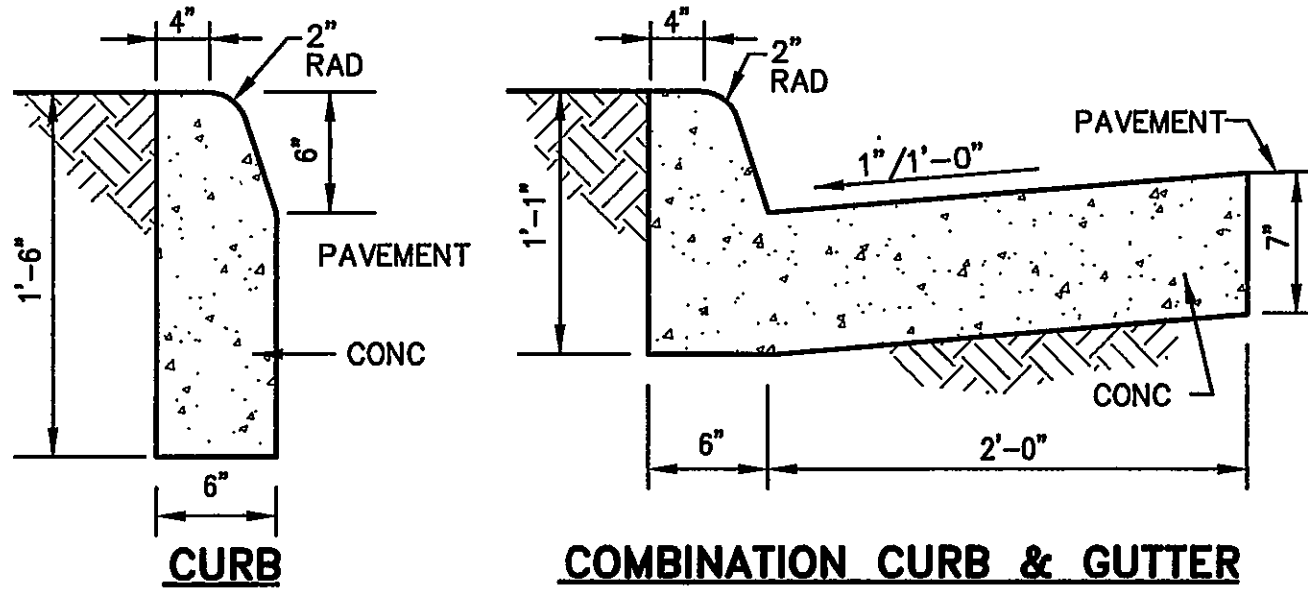
1. Temporary Construction Entrance (CE) - Std. & Spec. 3.02
A temporary construction entrance shall be installed where the top layer of existing pavement is removed. During wet weather conditions, drivers of construction vehicles will be required to wash their wheels before entering the street.
2. Storm Drain Inlet Protection (IP) - Std. & Spec. 3.07
Protect inlets of storm sewers from erosion and sedimentation during construction.

STABILIZATION & VEGETATIVE PRACTICES

1. Temporary Seeding (TS) - Std. & Spec. 3.31
All areas to be rough graded, but not finish graded during the initial phase of construction, shall be seeded with fast germinating, temporary vegetation immediately following grading/ placement/installation.
2. Mulching (MU) - Std. & Spec. 3.35
Application of plant residues or other suitable materials to the soil surface (1) to prevent erosion due to raindrop impact and overland flow velocity, and (2) to foster seed germination and growth by increasing available moisture and insulating from extreme temperatures.
3. Sodding (SO) - Std & Spec. 3.33
Application of sod over graded areas to provide immediate stabilization and protection against erosion.

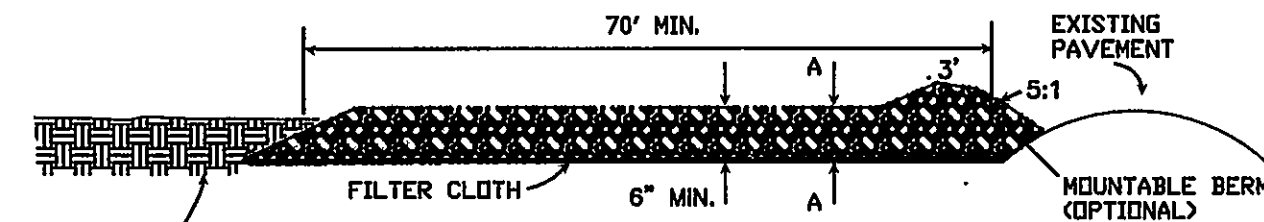
STORM WATER MANAGEMENT

Existing lot is virtually all paved or existing building, with a small amount of grass. Proposed conditions will reduce the impervious area; therefore, no storm water management will be required.

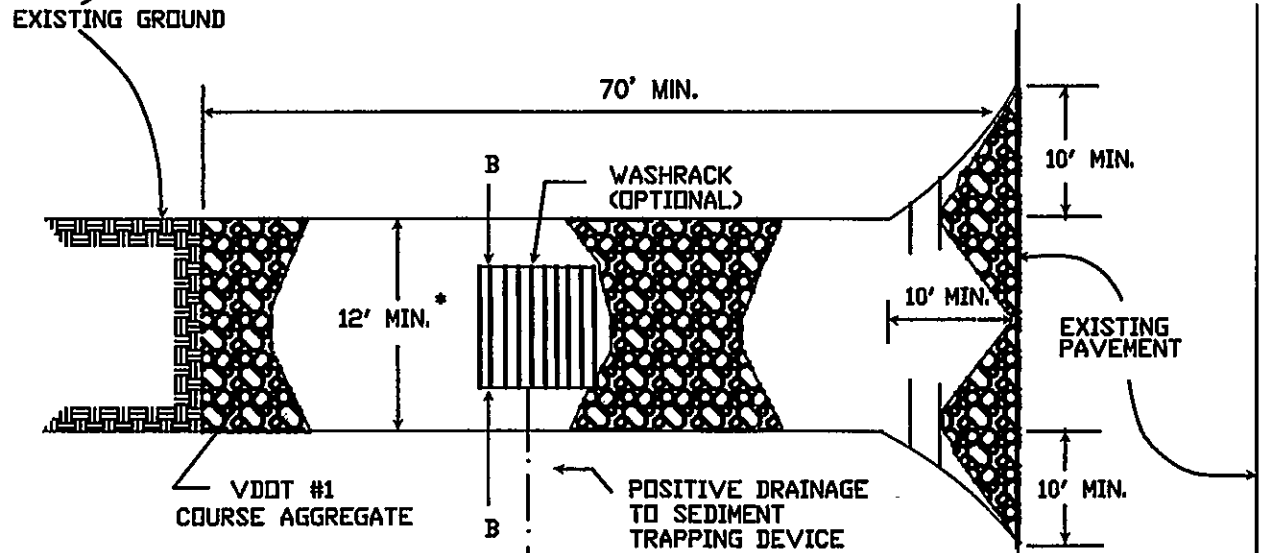


CURBING
NO SCALE

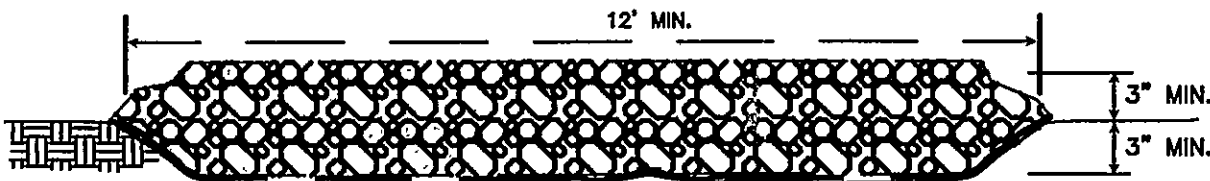
STONE CONSTRUCTION ENTRANCE



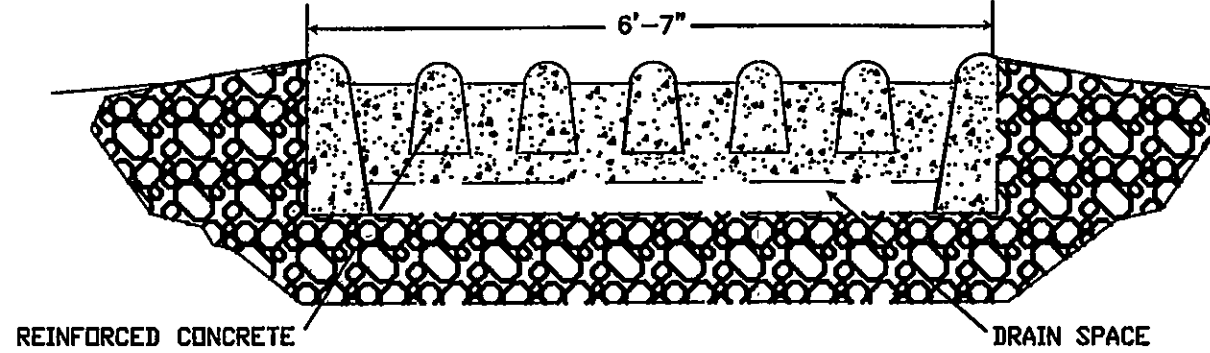
SIDE ELEVATION



PLAN VIEW



SECTION A-A

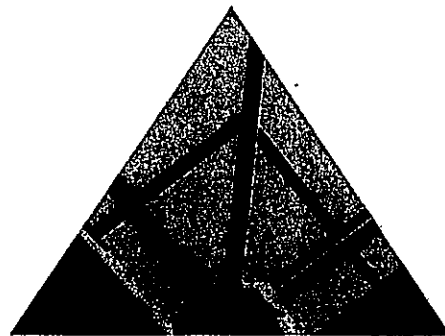


SECTION B-B

SOURCE: ADAPTED from 1983 Maryland Standards for Soil erosion and Sediment Control, and Va. DSWC Plate 3.02-1

KEY PLAN

GENERAL NOTES



SPECTRUM DESIGN

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.8001
ROANOKE • MARION

SUN TRUST BANK -
CROSSROADS MALL

NEW BANK
FACILITY

SPECTRUM DESIGN PROJECT NO. 06038



DATE
DESIGN ARCHITECT
PROJECT ARCHITECT
PROJECT ENGINEER
CHECKED BY
DRAWN BY

22 AUGUST, 2006

MAR
MF

REVISIONS

NUMBER

DATE

SHEET TITLE

DETAILS & ESC
NARRATIVE

C-5.2