

SITE INFORMATION

OWNER: AIRPORT ROAD HOLDINGS II, LLC
2404 ELECTRIC ROAD, SUITE A
ROANOKE, VIRGINIA 24018

APPLICANT: AIRPORT ROAD HOLDINGS II, LLC
2404 ELECTRIC ROAD, SUITE A
ROANOKE, VIRGINIA 24018

PROPERTY ADDRESS: 6044 PETERS CREEK ROAD

TAX MAP #: 026.16-02-14.00, 14.02, 14.03, 14.04, & 14.06

SITE AREA: 16.222 AC.

ZONING: C2 AND R4C

PROPOSED USE: MULTI-FAMILY RESIDENTIAL UNITS & TOWNHOMES
COMMERCIAL ON LOTS A, B, & C

OPEN SPACE: 5% OF R-4 REQUIRED = 8,342 S.F. REQUIRED
APPROX. 11,784 S.F. PROVIDED (SEE SHEET C-03)

R4 ZONING STD'S: SETBACKS: 30' F.Y.S.
10' S.Y.S.
10' R.Y.S.

MAX. BLDG HEIGHT: 45'

PROFFERED MAX. NUMBER OF UNITS: 115 UNITS

TOTAL UNITS PROPOSED: 108 TOTAL UNITS SHOWN

PARKING REQUIRED: 2 SPACES PER DWELLING UNIT
216 SPACES REQUIRED

PARKING PROVIDED: 216 TOTAL SPACES PROVIDED (10 HDGP)

BICYCLE PARKING REQUIRED: 1 SPACE PER 20 PARKING SPACES = 11 REQUIRED

BICYCLE PARKING PROVIDED: BIKE RACK PROVIDED WITH 11 SPACES

MAXIMUM LOT COVERAGE PERCENTAGE: 60% IN R-4

PROP. LOT COVERAGE PERCENTAGE: 46% ON LOT B-1A, 45% ON LOT B-1B

MAXIMUM BUILDING COVERAGE PERCENTAGE: 35% IN R-4

PROP. BUILDING COVERAGE PERCENTAGE: 14% ON LOT B-1A, 15% ON LOT B-1B

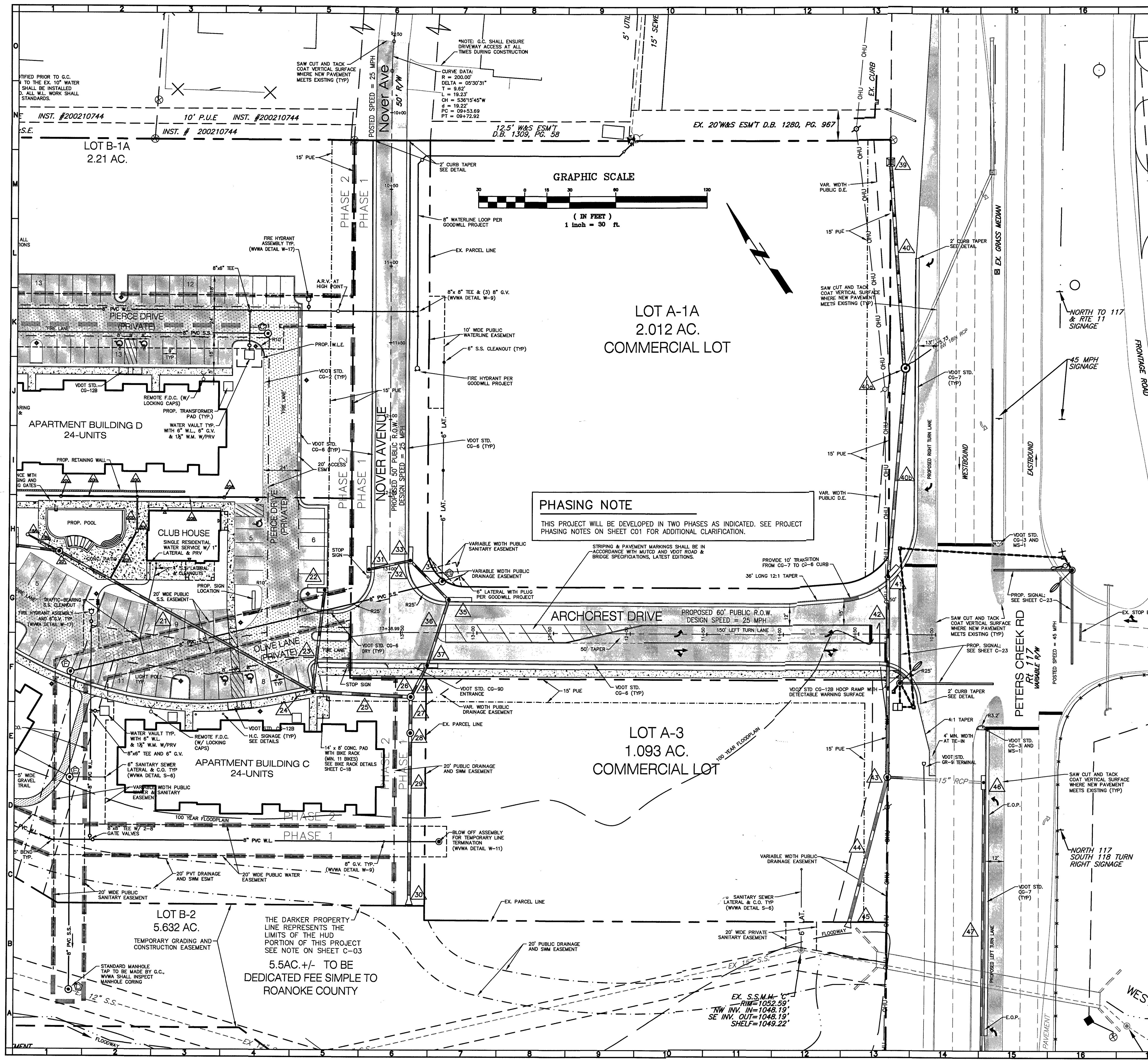
PROFFERED CONDITIONS

(AS SET FORTH IN ORDINANCE #052714-16 DATED MAY 27, 2014)

- THE DEVELOPER HEREBY PROFFERS GENERAL CONFORMANCE WITH THE "SUNCREST MASTERPLAN," PREPARED BY BALZER & ASSOCIATES, INC. DATED 3/17/2014.
- THE DEVELOPER PROFFERS A MAXIMUM OF 115 RESIDENTIAL UNITS FOR THE R-4 PORTION OF THE SUBJECT PROPERTY.
- THERE WILL BE NO VEHICULAR ACCESS FROM VIVAN AVENUE TO THE SUBJECT PARCEL.
- SIGNAGE FOR THE SUNCREST COMMUNITY WILL BE PROVIDED BY A MONUMENT STYLE SIGN NOT TO EXCEED 8' IN HEIGHT AND 15' IN WIDTH AND BE IN COMPLIANCE WITH SECTION 30-93 SIGNS OF THE ROANOKE COUNTY ZONING ORDINANCE.
- SITE AND PARKING LOT LIGHTING SHALL BE PROVIDED UTILIZING RESIDENTIAL POST TOP MOUNTED FIXTURES.
- A 15' BUFFER YARD SHALL BE PROVIDED ALONG THE EASTERN PROPERTY LINE AND A PORTION OF THE NORTHERN PROPERTY LINE AS INDICATED IN SECTION 30-92-6 OF THE ROANOKE COUNTY ZONING ORDINANCE.
- THE COMMUNITY WALKING TRAIL SHALL BE A MINIMUM OF 5' IN WIDTH AND BE CONSTRUCTED OF ASPHALT, CONCRETE OR A CRUSHED STONE MATERIAL.
- THE DEVELOPER HEREBY PROFFERS SUBSTANTIAL CONFORMANCE WITH THE "SUNCREST MULTIFAMILY RESIDENTIAL DEVELOPMENT FRONT ELEVATION," PREPARED BY BALZER AND ASSOCIATES, INC. DATED 4/15/2014.
- THE ONLY CONSTRUCTION ENTRANCE FOR THIS DEVELOPMENT SHALL BE FROM PETERS CREEK ROAD.

SITE NOTES

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, WVA, & VDOT.
- ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
- ALL SIGNAGE PROPOSED AS PART OF THIS PROJECT WILL REQUIRE A SEPARATE PERMIT FROM ROANOKE COUNTY. SIGNAGE MUST MEET ALL OF THE REQUIREMENTS OF THE ROANOKE COUNTY ZONING ORDINANCE SECTION 30-93 AND PROFFERED CONDITION #4 AS STATED ABOVE.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL PRIOR TO SITE PLAN APPROVAL (SEE SECTION 30-94.1). ANY CHANGES IN THE LIGHTING PLAN SHALL BE PROVIDED TO ROANOKE COUNTY AS A FIELD REVISION FOR REVIEW AND APPROVAL.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
- THERE SHALL BE NO DISTURBANCE OF THE ON-SITE DRAINAGEWAY (WEST FORK CARVIN CREEK).
- NO FILL SHALL BE PLACED WITHIN THE EXISTING FLOODWAY. THE FLOODWAY MUST BE STAKED PRIOR TO THE START OF CONSTRUCTION OF THESE PLANS.
- THE PROPOSED APARTMENT BUILDINGS SHALL HAVE FIRE PROTECTION SPRINKLER SYSTEMS.
- FIRE LANES ARE SHOWN ON SHEETS C-04 AND C-05 OF THE PLANS. G.C. SHALL BE RESPONSIBLE FOR ENSURING THAT PORTIONS OF FIRE LANES THAT DO NOT HAVE PARKING SPACES ARE DELINEATED BY PAINTING CURBS YELLOW AND INSTALLING SIGNAGE WHERE NECESSARY.
- EACH APARTMENT BUILDING SHALL BE EQUIPPED WITH KNOX BOX, WITH KEY TO ALL COMMON AREAS, AND FIRE DEPARTMENT CONNECTION (FDC). FDCs MUST BE LOCATED WITHIN 100 FEET OF A FIRE HYDRANT AND SHALL HAVE LOCKING CAPS. THE KNOX BOX SHALL BE LOCATED AT EYE LEVEL WITHIN 5 FEET OF THE MAIN ENTRANCE. G.C. SHALL COORDINATE THE EXACT LOCATIONS OF THE KNOX BOXES AND FDCs WITH THE ARCHITECTURAL PLANS AND WITH THE FIRE DEPARTMENT. CONTACT THE ROANOKE COUNTY FIRE MARSHAL'S OFFICE FOR ADDITIONAL ORDERING INFORMATION.
- WHEN MOUNTED ON A BUILDING, THE FDC SHALL BE EASILY ACCESSIBLE TO THE FIRE DEPARTMENT AND CLEARLY MARKED WITH "FDC" SIGNAGE.
- ALL CURB RADI NOT DIMENSIONED ARE 4.5'.
- EXISTING 10" WATERLINE SHALL NOT BE REMOVED UNTIL AFTER INSTALLATION OF PROP. 10" WATERLINE. A PORTION OF THE EXISTING WATERLINE WILL NEED TO BE TURNED OFF DURING THE CONNECTION OF THE PROP. 10" WATERLINE TO THE EXISTING WATERLINE. G.C. SHALL BE RESPONSIBLE FOR COORDINATING WITH WVA AND FOR NOTIFYING THE FIRE DEPARTMENT AND ALL AFFECTED PROPERTY OWNERS. THE RECONNECTION SHALL BE COMPLETED DURING OFF-HOURS AND SEQUENCED SO THAT THE INTERRUPTION FOR EXISTING CUSTOMERS IS MINIMIZED TO THE EXTENT POSSIBLE.



PHASING NOTE

THIS PROJECT WILL BE DEVELOPED IN TWO PHASES AS INDICATED. SEE PROJECT PHASING NOTES ON SHEET C01 FOR ADDITIONAL CLARIFICATION.

STRIPING & PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTED AND VDOT ROAD & BRIDGE SPECIFICATIONS, LATEST EDITIONS.

ARCHCREST DRIVE

PROPOSED 60' PUBLIC R.O.W.
DESIGN SPEED = 25 MPH

LOT A-3

1.093 AC.
COMMERCIAL LOT

LOT B-2

5.632 AC.
TEMPORARY GRADING AND CONSTRUCTION EASEMENT

LOT A-1A

2.012 AC.
COMMERCIAL LOT

LOT B-1A

2.21 AC.

LOT B-1B

2.21 AC.