

SITE SUMMARY:

OWNER: KTJ ONE HUNDRED FIFTY ONE
400 WATER STREET, SUITE 200
EXCELSIOR, MN 55331

TAX MAP NUMBER: 018.18-01-06.01-0000

EXISTING LOT SIZE: 5.59 AC.

ZONING: C2CS - HIGH INTENSITY COMMERCIAL DISTRICT W/CONDITIONS & SPECIAL USE
CONDITIONS - ORDINANCE # 32790-9 (09-01-1990)
SPECIAL USE PERMIT - ORDINANCE # 022707-9 (03-02-2007)

PROPOSED USE: HOTEL

MINIMUM LOT SIZE REQUIRED: 15,000 S.F. (SITE INCLUDES PUBLIC WATER/SEWER SERVICES)

PROPOSED LOT SIZE: 2.50 AC.

MINIMUM LOT FRONTAGE REQUIRED: 75 LF OF FRONTAGE

PROPOSED LOT FRONTAGE: 230 LF OF FRONTAGE

SETBACKS: 30' F.Y.S. OR 20' F.Y.S. PROVIDED ALL PARKING IS LOCATED
BEHIND THE FRONT BUILDING LINE.
NONE - SIDE SETBACK
15' REAR YARD SETBACK

MAXIMUM BUILDING HEIGHT: UNLIMITED
BUILDING HEIGHT PROVIDED: APPROX. 50'

MAXIMUM BUILDING COVERAGE: 50%
BUILDING COVERAGE PROVIDED: APPROX. 9%

MAXIMUM LOT COVERAGE: 90%
LOT COVERAGE PROVIDED: APPROX. 53%

MINIMUM PARKING REQUIREMENTS:
-1 SPACE PER GUEST ACCOMMODATION, PLUS SPACES AS REQ'D FOR OTHER USES.

-82 SPACES REQUIRED
-85 SPACES PROVIDED

HANDICAPPED PARKING SPACES
REQUIRED: 4 SPACES (INCLUDING 1 VAN ACCESSIBLE SPACE)
PROVIDED: 4 SPACES

LOADING SPACES
REQUIRED: 1 SPACE
PROVIDED: 1 SPACE

LAYOUT PLAN NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY & VDOT.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
3. EXISTING PAVEMENT TO BE SAWCUT AT LEAST 2' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT PER VDOT STD'S.
4. A SIGN PERMIT MUST BE OBTAINED FOR EXISTING AND PROPOSED SIGNAGE FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE. MINIMUM SIGNAGE SETBACK FOR NEW SIGNAGE SHALL BE 10' IF THE PROPOSED SIGN IS 10' TALL OR LESS. OTHERWISE, MINIMUM SETBACK SHALL BE 15' IF THE PROPOSED SIGN IS IN EXCESS OF 10' IN HEIGHT. NOTE THAT NO SIGN SHALL EXCEED 25' IN HEIGHT IN THE C2 - HIGH INTENSITY COMMERCIAL DISTRICT.
5. ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
6. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR AS REQUIRED FOR ANY PROPOSED EXTERIOR SITE LIGHTING.
7. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE, AND ROOFTOP OR GROUND LEVEL MECHANICAL EQUIPMENT IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.
8. G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF THE BUILDING PER COUNTY OF ROANOKE STANDARDS IN REGARDS TO MOUNTING HEIGHT AND TYPE OF KNOX BOX. ELEVATOR KNOX BOX SHALL BE INSTALLED. SEE ARCHITECTURAL PLANS FOR SPECIFIC LOCATIONS.
9. ALL ROOF LEADERS SHALL DISCHARGE TO THE UNDERGROUND STORMWATER SYSTEM VIA PIPING, TYP.
10. G.C. SHALL PROVIDE THE REQUIRED BACKFLOW PREVENTERS FOR THE BUILDING AS REQUIRED BY THE INTERNATIONAL BUILDING CODE & WESTERN VIRGINIA WATER AUTHORITY.
11. G.C. SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER DURING THE CONSTRUCTION PROCESS. COORDINATE DIRECTLY WITH A.E.P. FOR THIS SERVICE.
12. ALL SANITARY SEWER CLEANOUTS LOCATED WITHIN PAVED OR CONCRETE AREAS WITH TRAFFIC SHALL HAVE TRAFFIC BEARING CLEANOUT TOPS PROVIDED AS A MINIMUM.
13. BACKFLOW PREVENTION SHALL BE INSTALLED BY G.C. IN THE UTILITY ROOM. SEE M.E.P. FOR ADDITIONAL DETAILS.

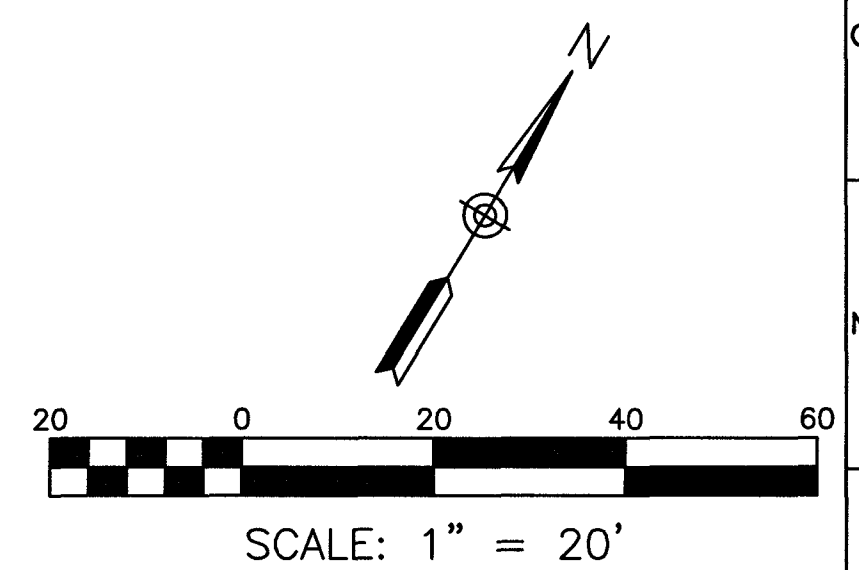
FIRE HYDRANT FLOW DATA: (PER W.V.W.A. DATA)

1. FIRE HYDRANT A
ID: 20697
STATIC: 62 PSI
RESIDUAL: 54 PSI
FLOW: 1,087 GPM
FLOW AT 20 PSI: 2,662 GPM

2. FIRE HYDRANT B
ID: 20698
STATIC: 68 PSI
RESIDUAL: 53 PSI
FLOW: 1,126 GPM
FLOW AT 20 PSI: 2,109 GPM

FIRE LANE INFORMATION:

1. CURB SHALL BE PAINTED WITH SAFETY YELLOW FOR ALL FIRE LANE
2. SIGN SHALL BE MOUNTED B/T 1' AND 3' OF THE FACE OF CURB.
3. SIGN HEIGHT SHALL BE 7' FROM TOP OF SIGN TO TOP OF CURB.



REFLECTING TOMORROW

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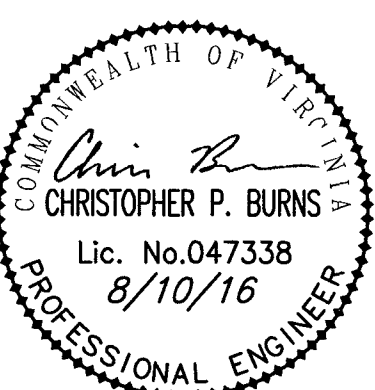
Balzer and Associates, Inc.

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Roanoke, VA 24018

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TRU BY HILTON
GANDER WAY
LAYOUT & UTILITY PLAN
ROANOKE COUNTY, VIRGINIA

DRAWN BY BTC

DESIGNED BY BTC

CHECKED BY CPB

DATE 6/17/2016

SCALE 1"=20'

REVISIONS:

7/18/2016

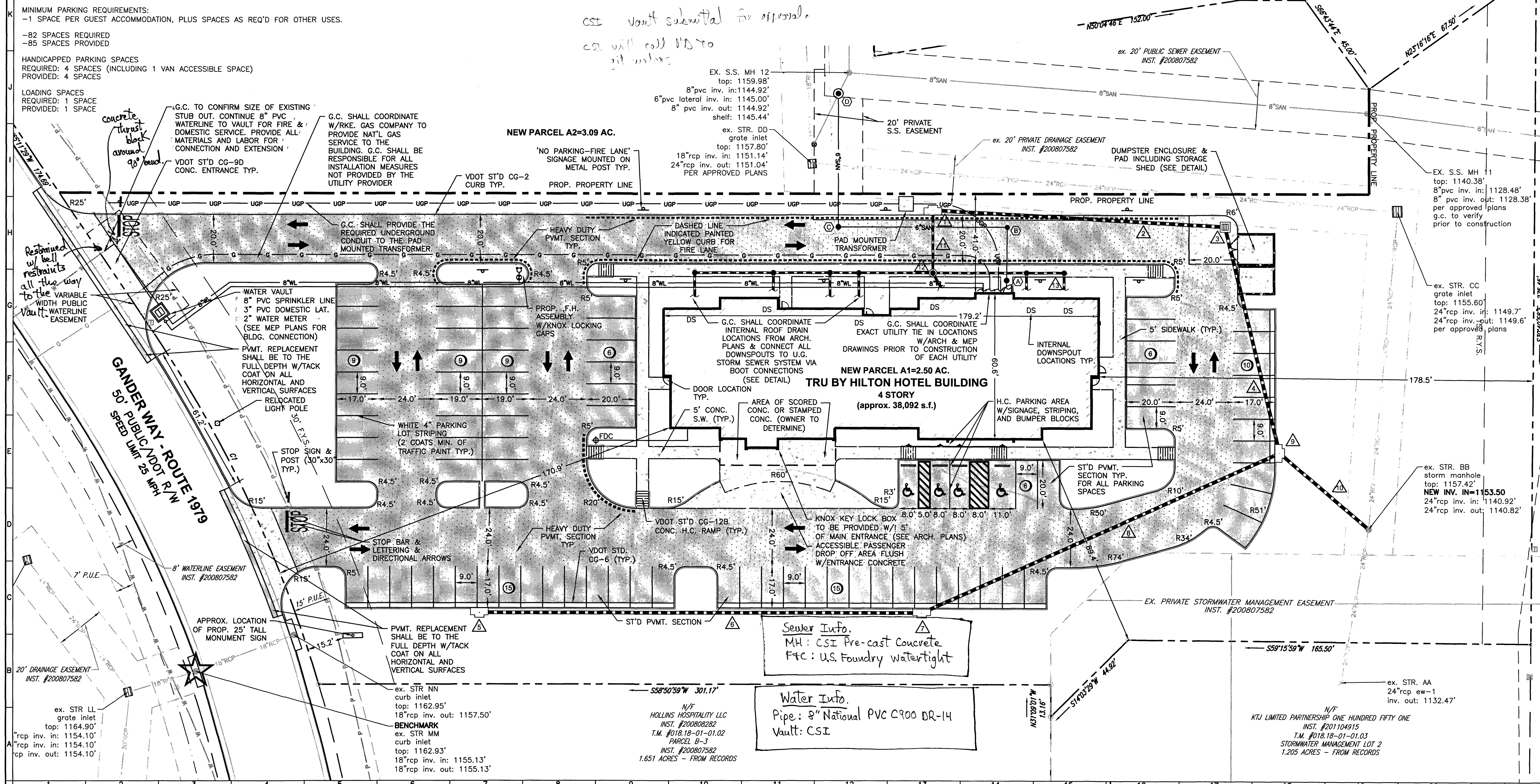
8/10/2016



SHEET NO.

C3

JOB NO. 04160039.00



As-Built Substantial Completion 7.27.17 K. Winslow