

GENERAL DEMOLITION NOTES

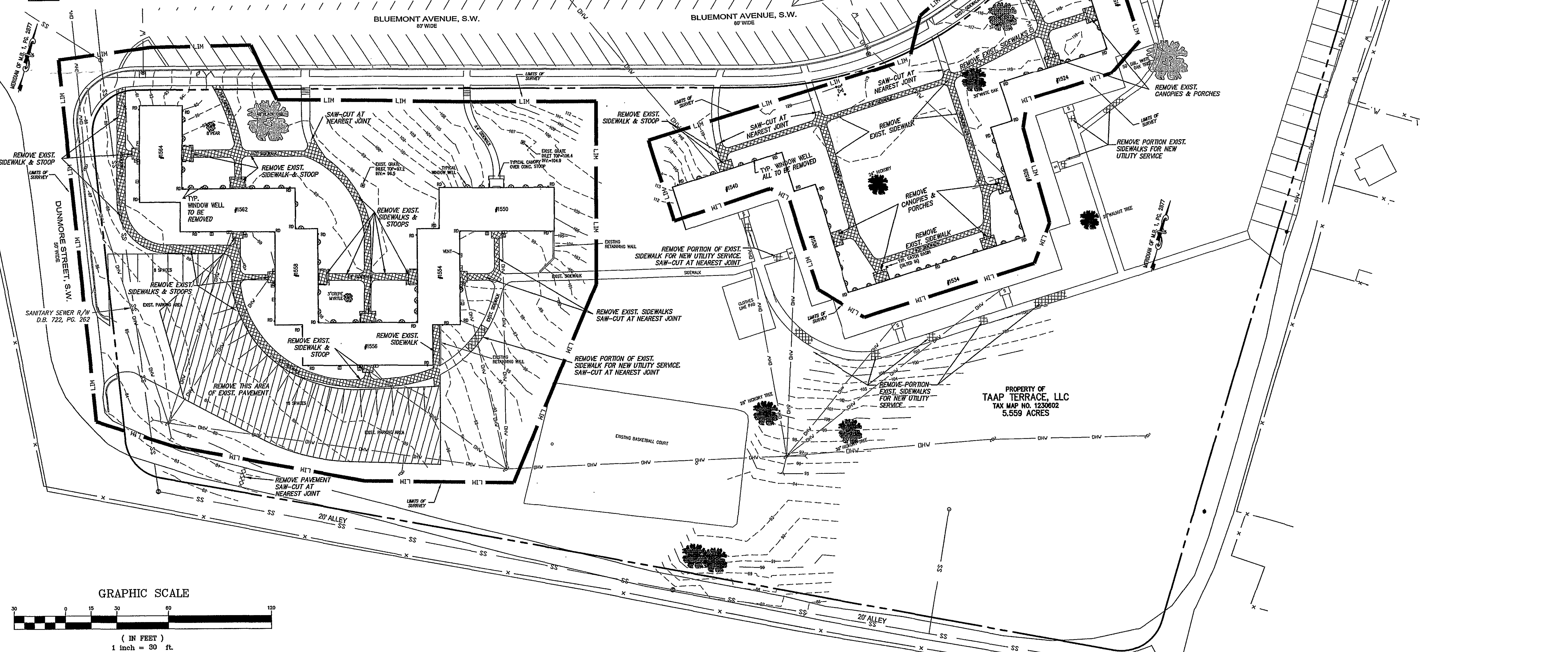
- 1) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.
- 2) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO THE OWNER(S).
- 3) PROTECT EXISTING UTILITIES AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 4) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.
- 5) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 6) RETURN ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF WORK.
- 7) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.
- 8) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.
- 9) ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING.

LEGEND

- GAS VALVE
- TELEPHONE PEDESTAL
- CATV PEDESTAL
- BOLLARD
- SPOT ELEVATION
- 5' CONTOUR
- 1' CONTOUR
- UTILITY POLE
- SANITARY OR WATER MANHOLE
- BOTTOM
- ELEVATION
- FIN. FLR. FINISHED FLOOR
- FL FLOW LINE
- INV. INVERT
- S. STOOP
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TYP. TYPICAL
- RD ROOF DRAIN
- AREA OF DEMOLITION

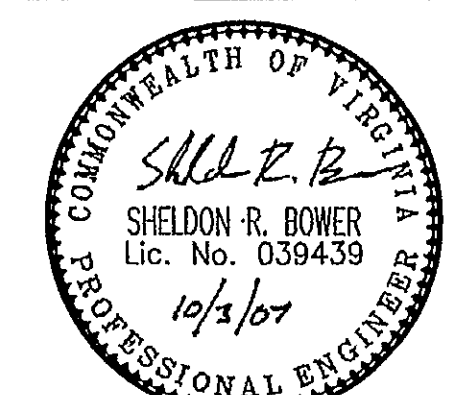
GENERAL SURVEY NOTES:

1. UTILITIES SHOWN ARE AS LOCATED IN THE FIELD AND AVAILABLE RECORDS AND SHOULD BE CONSIDERED APPROXIMATE. "MISS UTILITY" HAS NOT MARKED ANY UTILITIES. PARKER DESIGN GROUP DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES.
2. THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF ZONE "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. 51161C0044 D, EFFECTIVE DATE OCTOBER 15, 1993. THIS DETERMINATION IS BASED ON SAID MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATION.
3. TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A CURRENT FIELD SURVEY DATED 01-16-07. CONTOUR ARE AT ONE (1) FOOT INTERVALS AND ARE BASED ON AN ASSUMED DATUM.



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**Handicap Access & Utility Upgrades  
Terrace Apartments  
for TAAP Terrace, LLC**  
Roanoke, Virginia

REVISIONS:

1	revised per City Roanoke comments	10/12/07
2	revised per City Roanoke comments	10/18/07
3	revised per City Roanoke comments	10/18/07
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SHEET TITLE:  
**Existing  
Conditions /  
Demolition Plan**

**C02**  
02 OF 11  
PROJECT NUMBER:  
06-0360-07