

GENERAL SITE NOTES:

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
- NOTIFY THE COUNTY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- LIGHT/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON, DATED SEPTEMBER 14, 2015. SEE CIVIL DETAILS.
- CONTRACTOR SHALL PROVIDE A TEMPORARY BARRICADE OR CONSTRUCTION FENCE AROUND THE PREMISE IF REQUIRED BY APPROVING AUTHORITY.
- PROPOSED SIGNING TO COMPLY WITH THE COUNTY SIGN REGULATIONS PER SECTION 30-93 OF THE CURRENT COUNTY ORDINANCES.
- SHARED PARKING REQUIREMENTS, PER SECTION 30-91-3.5 OF THE ROANOKE COUNTY ZONING ORDINANCE, WILL NEED TO BE MET DURING THE SITE PLAN REVIEW PROCESS FOR THE FUTURE DEVELOPMENT.

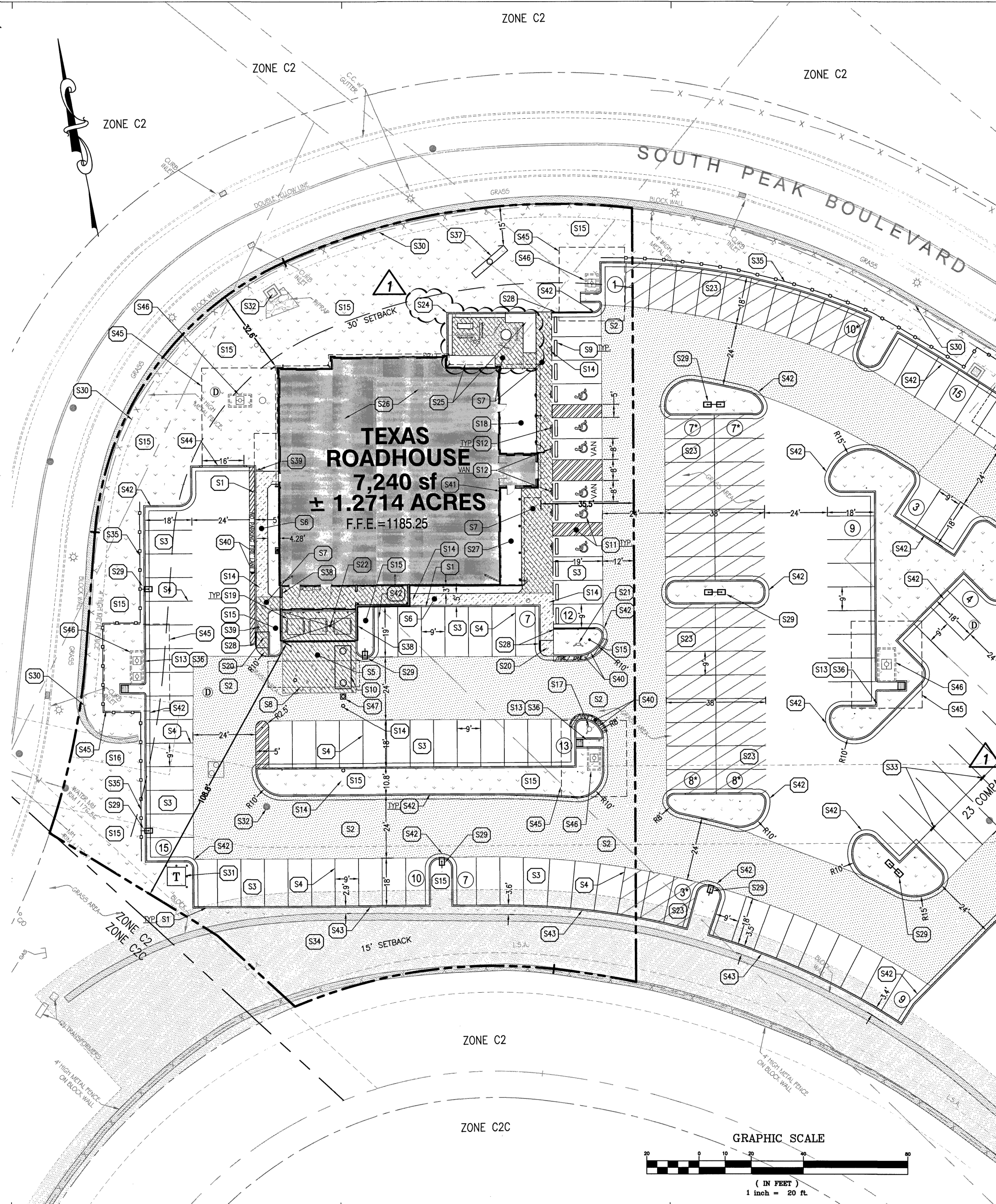
PROPOSED LEGEND:

- PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED FLUSH CONDITION
- PROPOSED PARKING SPACES
- PROPOSED GREASE TRAP (SEE UTILITIES PLANS)
- PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)
- PROPOSED SIDEWALK RAMP
- PROPOSED LIGHT POLES
- 5" CONCRETE SIDEWALK AND 4" CRUSHED STONE BASE (VDOT 21A)
- 5" INTEGRAL BLACK COLORED CONCRETE SIDEWALK 4" CRUSHED STONE BASE (VDOT 21A)
- INTEGRAL BLACK COLORED CONCRETE PAVEMENT
 - 7.0" PORTLAND CEMENT CONCRETE
 - 4.0" CRUSHED STONE BASE (VDOT 21A)
- HEAVY DUTY PAVEMENT DRIVE LANES
 - 3" ASPHALT COURSE (VDOT SM-9.5A)
 - 8" CRUSHED STONE BASE (VDOT 21A)
- LIGHT DUTY PAVEMENT PARKING STALLS
 - 3" ASPHALT COURSE (VDOT SM-9.5A)
 - 6" CRUSHED STONE BASE (VDOT 21A)
- LANDSCAPE AREA (SEE LANDSCAPE PLAN FOR DETAILS)
- RETAINING WALL EASEMENT (COMMON AREA)
IN INST. #2012134351
& INST. #201310815

NOTE:

SEE STRUCTURAL DRAWINGS FOR
REQUIRED W.W.F. REINFORCEMENT

FOR BENCHMARK LOCATION
SEE SHEET C3.1:
PK NAIL SET LOCATED AT
PROPOSED ACCESS DRIVE



PROJECT INFORMATION

LOT AREA: 1.2714 ACRES
ZONED: C-2 HIGH INTENSITY COMMERCIAL DIST.
ORDINANCE 062204-11 (SEE SHEET C1.1)
VACANT
7,240 SF
EXISTING USE OF PROPERTY: 9,631 SF (17.4%)
SQUARE FOOTAGE OF BUILDING: RESTAURANT, GENERAL
TOTAL BUILDING COVERAGE: 309 SEATS
PROPOSED USE OF PROPERTY: 28' 10" (+12' FLAG POLE)
CAPACITY OF RESTAURANT: 0 FT (PRIVATE ROAD) (381.7 FT)
MAXIMUM BUILDING HEIGHT: 0 FT (PRIVATE ROAD) (381.7 FT)
LOT FRONTAGE: 0 FT (PRIVATE ROAD) (381.7 FT)

ZONING SETBACKS:	REQUIRED	PROVIDED
FRONT YARD	30 FT.	32.6 FT.
SIDE YARD (INTERIOR)	0 FT.	35.5 FT.
REAR YARD	15 FT.	108.8 FT.

PARKING REQUIREMENTS:
1 SPACE FOR 4 SEATS (309 SEATS/4)=78 SPACES
1 SPACE PER 2 EMPLOYEES (50 EMPLOYEES/2)=25 SPACES
TOTAL REQUIRED PARKING=78+25=103 SPACES
110% PARKING=112 SPACES

PROVIDED ONSITE PARKING=65 SPACES
SHARED PARKING=43 SPACES
TOTAL PROVIDED PARKING=108 SPACES INCLUDING 6 HANDICAP SPACES
TOTAL OVERALL PARKING FOR SITE=171 SPACES (SEE C3.1 OVERALL SITE PLAN)
ADA SPACES REQUIRED FOR 151-200 TOTAL SPACES IS 6 HANDICAP SPACES.

LOT COVERAGE:
PERVIOUS AREA: .453 ACRES (35.6%)
IMPERVIOUS AREA: .818 ACRES (64.4%)

LAYOUT PLAN KEYNOTES

- PROPOSED MONOLITHIC CURB & SIDEWALK (6" REVEAL-TYP.) (SEE DETAILS)
- HEAVY DUTY DRIVE LANE BITUMINOUS PAVEMENT. (SEE DETAILS)
- LIGHT DUTY BITUMINOUS PAVEMENT. (SEE DETAILS)
- 4" PAINTED PARKING STALL STRIPING (TYPICAL)
- PROVIDE 7" INTEGRAL BLACK CONCRETE PAVEMENT AT TRASH ENCLOSURE AND DUMPSTER PAD LOCATION. SEE PAVEMENT RECOMMENDATIONS ON THIS SHEET.
- PROVIDE 5" CONCRETE SIDEWALK OVER 4" GRAVEL BASE. (SEE DETAILS)
- PROVIDE 5" INTEGRAL BLACK CONCRETE WITH 4" GRAVEL BASE FOR SIDEWALK AND PATIO AREA LOCATED AT FRONT ENTRANCE.
- PROPOSED 10' BY 35' LOADING AREA
- PROPOSED CONCRETE WHEEL STOP (TYPICAL OF 12) (SEE DETAILS)
- PROPOSED GREASE INTERCEPTOR. (REFER TO PLUMBING PLANS FOR DETAILS)
- PROPOSED PAINTED HANDICAP STRIPING (TYPICAL). (SEE DETAILS)
- PROPOSED HANDICAP SIGN (TYPICAL OF 6) (SEE DETAILS)
- PROPOSED STORM SEWER CATCH BASIN (TYPICAL) (SEE DETAILS)
- PROPOSED CLEAN OUT (TYPICAL) (SEE DETAILS)
- LANDSCAPED AREA. (SEE LANDSCAPE PLAN FOR DETAILS)
- PROPOSED 2" WATER METER VAULT (SEE UTILITY PLAN)
- PROPOSED FIRE HYDRANT (SEE UTILITY PLAN)
- PATIO AREA WITH ROOF. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- DUMPSTER (TYPICAL OF 3)
- PROPOSED HANDICAP RAMP PER ADA REGULATIONS (SEE GRADING PLAN FOR ELEVATION DETAILS)
- FIRE DEPARTMENT CONNECTION (FDC). SEE MEP PLANS FOR EXACT LOCATION AND DETAILS.
- PROPOSED DUMPSTER DRAIN CONNECTED TO SANITARY SEWER SYSTEM. (SEE UTILITY PLAN FOR DETAILS) (SEE DETAILS)
- SHARED PARKING (43 SPACES TOTAL)
- PROPOSED FIRE PIT AREA (SEE LANDSCAPE PLAN SHEET L1.1 FOR LAYOUT DETAILS). PROVIDE 5" MINIMUM INTEGRAL BLACK CONCRETE SLAB W/ EXPANSION JOINTS @ 10'.
- PROPOSED PLANTING AREA (SEE LANDSCAPE PLANS FOR DETAILS)
- PROPOSED BUILDING MECHANICAL UNITS, INCLUDING THE HVAC SYSTEM, WILL BE LOCATED ON THE ROOF OF BUILDING PER ARCHITECTURAL PLANS. UNITS ARE TO BE SCREENED PER SECTION 30-92-5 OF THE COUNTY CODE.
- PROPOSED EXTERIOR WAITING AREA - COVERED WITH BENCHES. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS.
- CONCRETE TO SLOPE PER GRADING PLAN TO CREATE TRANSITION FROM 6" CURB REVEAL TO FLUSH CONDITION. (SEE GRADING PLAN FOR DETAILS)
- PROPOSED LIGHT POLES. SEE PHOTOMETRIC PLAN (PH1.0) FOR DETAILS.
- EXISTING 4' HIGH METAL FENCE TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
- PROPOSED CONCRETE TRANSFORMER PAD. CONTRACTOR SHALL COORDINATE DIRECTLY WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION TO DETERMINE FINAL LOCATION. PAD TO BE CONSTRUCTED PER ELECTRIC COMPANY SPECIFICATIONS (W=84", L=66", D=6")
- RESET RIM OF EXISTING UTILITY STRUCTURE TO PROPOSED GRADE.
- DOUBLE SIDED COMPACT PARKING SIGN, TYPICAL OF 8 SIGNS MOUNTED ON 4 POSTS. SEE SHEET 3.1 FOR LOCATIONS AND SHEET C7.1 FOR SIGN DETAIL.
- EXISTING LANDSCAPING TO REMAIN
- PROPOSED GUARDRAIL (SEE DETAIL SHEET C7.1)
- 3' WIDE CONCRETE FLUME. (SEE DETAIL SHEET C7.4)
- TEXAS ROADHOUSE SIGN
- SCREENED DUMPSTER ENCLOSURE WITH ROOF. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED FIRE LANE SIGN. (SEE DETAILS)
- YELLOW PAINTED CURB/PAVEMENT FOR FIRE LANES.
- PROPOSED LOCATION FOR "KNOX" KEY LOCKING FIRE BOX. BOX TO BE LOCATED WITHIN 5' OF MAIN ENTRANCE AND 5' OFF THE GROUND.
- PROPOSED CONCRETE CURB AND GUTTER (6" REVEAL-TYP.) (SEE DETAILS)
- PROPOSED CONCRETE CURB (6" REVEAL-TYP.) (SEE DETAILS)
- PROPOSED 4" CONCRETE CURB WITH 1' LONG TRANSITIONS FROM 4" TO 6" REVEAL ON BOTH SIDES OF THE 4" CONCRETE CURB (SEE DETAILS)
- PROPOSED BMP MAINTENANCE EASEMENTS. SEE EASEMENT PLAN FOR DETAILS.
- FILTERRA WATER QUALITY UNITS. SEE GRADING AND DRAINAGE PLAN FOR DETAILS.
- PROPOSED SANITARY SAMPLING MANHOLE.

GreenbergFarrow

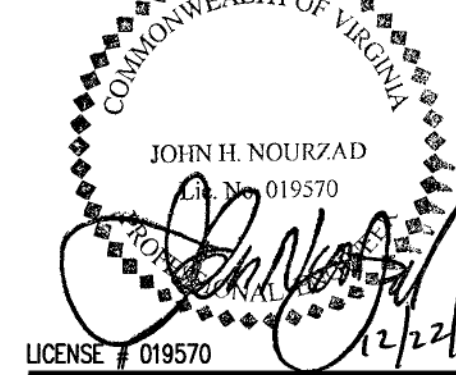
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ISSUE/REVISION RECORD

DATE	DESCRIPTION
06/05/15	CONCEPTUAL LAYOUT
07/01/15	CONCEPTUAL SUBMITTAL
07/14/15	COORDINATION SET
08/05/15	COUNTY RESPONSE #1
09/08/15	COUNTY RESPONSE #2
10/14/15	COUNTY RESPONSE #3
11/02/15	BID SET
12/03/15	COUNTY RESPONSE #4
12/23/15	CONSTRUCTION SET

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
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PROJECT MANAGER
ANDRE PIMENTEL
QUALITY CONTROL
STEPHEN POWERS, P.E.
DRAWN BY
RYAN SCHNEPPER E.I.T.

PROJECT NAME

TEXAS
ROADHOUSE

ROANOKE
VIRGINIA

SOUTH PEAK BLVD.



PROJECT NUMBER
20140788.0

SHEET TITLE

SITE LAYOUT
PLAN

SHEET NUMBER

C3.0