

PROPOSED LEGEND:

- PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CONCRETE CURB
- PROPOSED FLUSH CONDITION
- PROPOSED PARKING SPACES
- PROPOSED SHARED OFFSITE PARKING SPACES
- APPROXIMATE ARE OF WALL REINFORCEMENT

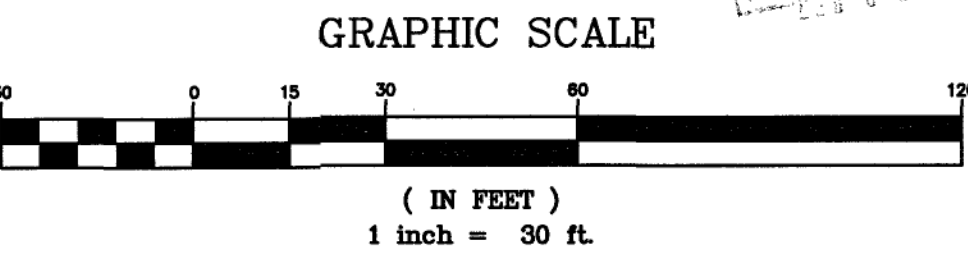
PARKING INFORMATION

TRH PARKING:  
PARKING PROVIDED:  
ON-SITE TRH SITE SPACES: 65  
OFF-SITE PARKING SPACES: 43\*  
TOTAL PROVIDED: 108  
HANDICAP ACCESSIBLE: 6  
\*PARKING SPACES AVAILABLE OFFSITE WITH SHARED PARKING AGREEMENT.  
OFFSITE PARKING:  
PARKING PROVIDED FOR ADJACENT LOT FOR FUTURE DEVELOPMENT:  
STANDARD SPACES: 40  
COMPACT SPACES: 23\*  
TOTAL PROVIDED: 63  
TOTAL PARKING SPACES CONSTRUCTED: 171  
\*COMPACT SPACE DIMENSIONS PROVIDED (9'x18"), STANDARD SPACE IS 9'x19".

NOTE:  
SHARED PARKING REQUIREMENTS, PER SECTION 30-91-3.5 OF THE ROANOKE COUNTY ZONING ORDINANCE, WILL NEED TO BE MET DURING THE SITE PLAN REVIEW PROCESS FOR THE FUTURE DEVELOPMENT.

DEVELOPMENT COVERAGE SUMMARY

TEXAS ROADHOUSE LOT COVERAGE:  
TOTAL LOT AREA: 1.27 ACRES (100%)  
PERVIOUS AREA: 0.45 ACRES (35.6%)  
IMPERVIOUS AREA: 0.82 ACRES (64.6%)  
DEVELOPED AREA OUTSIDE TEXAS ROADHOUSE'S PARCEL:  
TOTAL AREA: 1.21 ACRES (100%)  
PERVIOUS AREA: 0.25 ACRES (20.6%)  
IMPERVIOUS AREA: 0.96 ACRES (79.4%)  
COMBINED DEVELOPMENT:  
TOTAL AREA: 2.48 ACRES (100%)  
PERVIOUS AREA: 0.70 ACRES (28.2%)  
IMPERVIOUS AREA: 1.78 ACRES (71.8%)



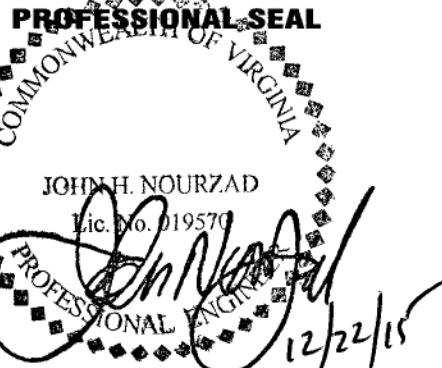
GreenbergFarrow

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
06/05/15	CONCEPTUAL LAYOUT
07/01/15	CONCEPTUAL SUBMITTAL
07/14/15	COORDINATION SET
08/05/15	COUNTY RESPONSE #1
09/08/15	COUNTY RESPONSE #2
10/14/15	COUNTY RESPONSE #3
11/02/15	BID SET
12/03/15	COUNTY RESPONSE #4
12/23/15	CONSTRUCTION SET



LICENSE # 019570  
PROFESSIONAL IN CHARGE  
JOHN NOURZAD, P.E.  
PROJECT MANAGER  
ANDRE PIMENTEL  
QUALITY CONTROL  
STEPHEN POWERS, P.E.  
DRAWN BY  
RYAN SCHNEPPER ELT.

PROJECT NAME  
**TEXAS ROADHOUSE**

ROANOKE VIRGINIA  
SOUTH PEAK BLVD.



PROJECT NUMBER  
20140788.0  
SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER  
**C3.1**