

Trinity Missionary Baptist Church
1814 Carroll Ave
New Water Service

GENERAL CONSTRUCTION NOTES

SITING

The Contractor shall be responsible for notifying the City of Roanoke and the Site Designer at least 48 hours prior to starting any work on this project. All work shall be subject to inspection by the Site Designer. The Contractor shall obtain all necessary permits.

The location of existing utilities across or along the line of proposed work is not necessarily shown on the plans and where shown, is approximate. The Contractor shall, on his own initiative and at no extra cost, locate all underground lines and structures as necessary. The Contractor shall be responsible for any damage to underground lines and structures. The Contractor shall comply with applicable codes set forth in the latest edition of the State Water Works Regulations.

Contractor shall call "Miss Utility" at 1-800-552-7001 prior to construction.

Power lines and poles, telephone lines and poles, and gas lines shall be protected from damage in accordance with the utility owner's instructions. The Contractor is responsible for contacting the utility owners, obtaining the proper protective measures for each individual construction location and for protecting utilities from damage. Any damage caused by the Contractor or the Contractor's construction operations shall be corrected by the Contractor at his expense.

The Contractor should notify the Site Designer should discrepancies be discovered at the site or on the drawings.

The Contractor shall notify the City of any field revisions or corrections to the approved plans prior to such construction.

The Contractor is responsible for verifying the most recent revision date of the plans prior to commencing construction.

All lines to be staked prior to construction.

EARTHWORK

The Contractor shall comply with the latest revisions of the Virginia Occupational Safety and Health Standards for the Construction Industry as adopted by the Safety and Health Codes Commission of Virginia.

Earthwork shall be to the lines and grades shown. Proofrolling and compaction test shall be accomplished in the field to test all areas.

The Grading Contractor shall proof-roll the construction area with heavy-pneumatic equipment. All unsuitable material shall be undercut and recompact with approved structural fill material.

Surplus excavated material shall be removed from the site and disposed of by the Grading Contractor, at his own expense.

The top 18" of all new fill material shall be compacted to 98% of maximum dry density as determined by ASTM D698 (Standard Proctor Method). All other fill shall be compacted to 95%.

All fill material shall be from a source approved by the testing company and shall be free of roots, organics and stones greater than 4" in diameter. Fill shall be placed in 8" layers and compacted as specified.

The Grading Contractor shall conform to elevations and dimensions shown to within a tolerance of plus or minus 0.10 feet. (Final graded surface under building slabs shall be within 3/8" when measured with a 10' straight edge.)

GENERAL UTILITY NOTES

Natural gas line conflicts, should they exist, should be coordinated with Roanoke Gas Company (540-983-3851).

Temporary service, permanent service, and conflicts should be coordinated with American Electric Power (540-427-3633).

Telephone service and conflicts should be coordinated with the City of Roanoke, Water (540-2603), Sewer (540-2513).

Construction of water and sewer service shall be coordinated with the City of Roanoke, Water (540-2603), Sewer (540-2513).

WATER NOTES

A minimum cover of three (3) feet is required over proposed water lines.

All water lines shall be installed as shown on the plans. All pipes, valves, and fittings shall be in accordance with the latest edition of the AWWA standards and all local codes and the latest edition of the AWWA standards (latest edition), and with local codes and their standards.

The Contractor shall provide all materials, equipment, and necessary taps and shall perform all work required for sterilization, testing, and flushing.

All trenches shall be thoroughly compacted to prevent settlement and damage to future pavement and structures.

Contractor is responsible for locating and uncovering all valves vaults after paving and adjusting to final grade.

SEWER NOTES

A minimum cover of three (3) feet is required over all lines, or ductile iron lines are required.

All sanitary sewer work shall be constructed to the lines and grades indicated. Pipe bedding and backfill shall be carefully controlled. All work shall comply with local codes.

Installation shall begin at the downstream manhole and proceed laying pipe upstream. Verify existing invert elevation prior to laying pipe.

All trenches shall be thoroughly compacted to prevent settlement and damage to future pavement and structures.

Contractor is responsible for locating and uncovering all manholes after paving and adjusting to final grade.

MATERIAL NOTES

All construction and materials shall conform with City standards and specifications.

PVC plastic gravity pipe shall meet SDR-35 requirements for ASTM D3034. Fittings and pipe shall be of a gasket push on joint type meeting ASTM D3212. Fittings shall conform to the requirements of ASTM D3034.

PVC plastic pressure pipe smaller than 4" in diameter shall meet SDR 21 requirements for ASTM D2241.

All drainage structures shall be precast unless otherwise noted.

All manholes and inlets shall have invert shaping per VDOT Road & Bridge Standard IS-1.

SIDEWALK CONSTRUCTION

Concrete sidewalks shall be 4" thick, VDOT standard A-3 (3000 psi) concrete, installed in accordance with Section 504 of the latest revision of the VDOT Road and Bridge Specifications.

Spacing for expansion joints shall be the same for sidewalks as that for "Curb & Gutter".

Sidewalk Finish: sidewalk shall first be smooth troweled, the ending with a "Light Broom Finish" unless otherwise noted.

When sidewalk abuts Curb or Building, a 1/2" Premolded Expansion Joint is to be used.

Curing shall be accomplished by the use of a liquid membrane seal, containing white pigment, applied at the rate of one (1) gallon per 150 square feet.

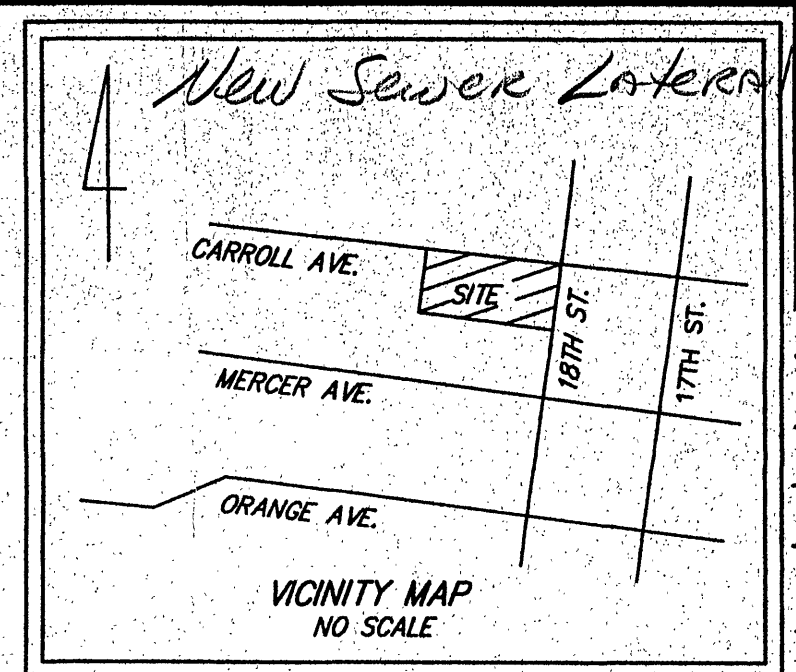
PAVEMENT, CURBS, AND WALKS

Asphalt pavement for the new parking lots shall be constructed with 6" compacted stone base (Virginia Department of Transportation Type 1, Size No. 21A aggregate base), and 2" bituminous concrete surface course, Type SM-9.5AL.

All work shall comply with VDOT specifications in accordance with the latest revision of the VDOT Road and Bridge Specifications.

Concrete curb and curb & gutter shall be VDOT standard CG-2 or CG-3 and constructed to VDOT specifications.

All areas not covered with pavement, sidewalk, or building shall receive topsoil and be grassed in accordance with the owner's specifications.



DATE: Apr 13, 2001
REVISIONS:
1
2
3
4

HUGHES ASSOCIATES ARCHITECTS
A PROFESSIONAL CORPORATION

Architecture
Planning
Consulting
656 Elm Avenue, S.W.
P.O. Box 1034
Roanoke, Virginia 24005

SHEET INDEX

SP-1: SITE PLAN COVER SHEET, DIMENSIONAL LAYOUT & UTILITY PLAN
SP-2: GRADING, DRAINAGE, EROSION CONTROL PLAN

(540) 342-4002 TEL
(540) 342-2080 FAX

ROANOKE CITY NOTICE

ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

Failure to comply with the construction procedure requirements listed below may result in the costly removal of structures, time delays, or the issuance of a stop work order:

CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: To insure the coordination of timely and proper inspections, a preconstruction conference shall be initiated by the Contractor with the City Planning Department. Call 540-853-1446 (Dan Conner) or 853-1325 (Tom Tasselli) to arrange a conference at least three (3) days prior to anticipated construction.

STREET OPENING PERMIT: Prior to the commencement of any digging, alteration, or construction within the public right-of-way, (streets, alleys, public easements) a street opening permit shall be applied for and obtained by the Contractor from the City of Roanoke.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City Official) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The Contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The Contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be determined by the City plan inspector.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the Contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.

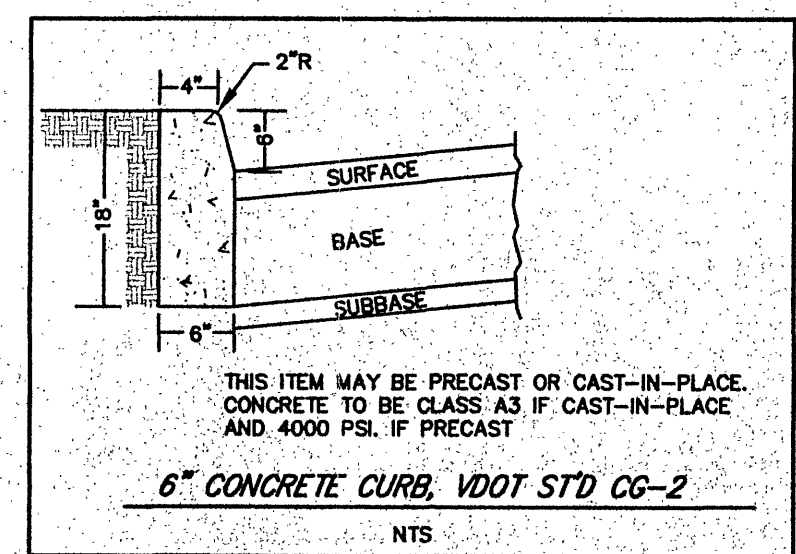
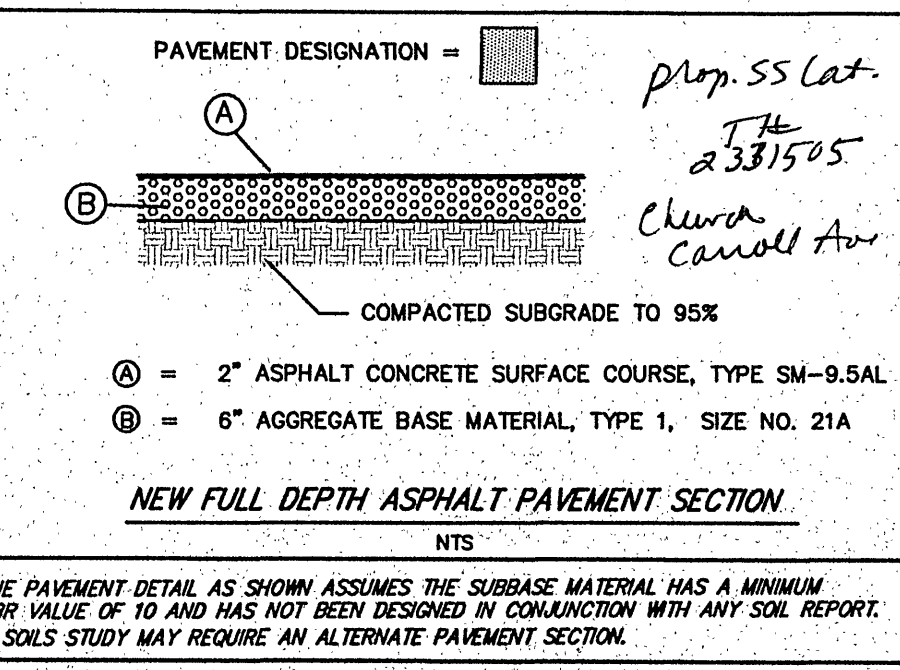
BARRICADES/DITCHES: The Contractor shall maintain the integrity of all excavated ditches and shall furnish and insure that all barricades proper and necessary for the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from the construction design as shown on the officially approved plans shall be approved by the City Engineer prior to said changes or variation prior to the changes being made.

FINAL ACCEPTANCE/CITY: The Developer or Contractor shall furnish the City of Roanoke Engineering Department with a final correct set of AS-Built Plans prior to final acceptance by the City.

PLANTING SCHEDULE		
SYMBOL	TYPE	QUANTITY
	NEW EVERGREEN TREES MIN. 6' IN HEIGHT @ PLANTING	15 EACH
	NEW DOGWOOD AND/OR BRADFORD PEAR TREES MIN. 2 1/2" CALIPER @ PLANTING	14 EACH



NOTES:

REFER TO PLUMBING PLANS FOR UTILITY SERVICE CONNECTION LOCATIONS AT THE BUILDING PRIOR TO BEGINNING SITE INSTALLATION.

1 1/2" DOMESTIC WATER LINE TO BE TYPE K COPPER.

6" DOMESTIC SEWER LINE TO BE SDR35 PVC.

SEWER LINES, WATER LINES AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND REGULATIONS AS SET FORTH BY THE CITY OF ROANOKE UTILITY DEPT.

A MINIMUM COVER OF 36" IS REQUIRED OVER THE PROPOSED WATER LINE. ALL JOINTS FOR THE PROPOSED WATER LINE SHALL BE MECHANICALLY RESTRAINED (E.G. MEGALUG OR EQUAL).

ALL OUTSIDE MECHANICAL EQUIPMENT SHALL BE SCREENED AND/OR LANDSCAPED.

ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS. THE LIGHTING INTENSITY AT ADJOINING PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. REFER TO SITE ELECTRICAL PLANS FOR LOCATION AND TYPE OF SITE LIGHTING & WIRING.

ALL EXTERIOR SIGNS SHALL BE SIZED AND LOCATED ON-SITE PER ROANOKE CITY'S SIGN ORDINANCE.

DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND/OR EDGE OF PAVEMENT.

CONTRACTOR TO COORDINATE W/ RESPECTIVE UTILITY COMPANIES TO VERIFY MOST FEASIBLE ROUTE FOR CABLE, ELECTRICAL, PHONE AND GAS SERVICE. COORDINATE PLACEMENT WITH THE ARCHITECT PRIOR TO INSTALLATION.

LEGEND:

CONC. DEED BOOK
D.B. DEED BOOK
EP. EXISTING PAVEMENT
ELEC. EXISTING IRON PIN
EX.P. EXISTING INVERT ELEVATION
H.C. H.C. INVERT ELEVATION
O.V.H.D. OVERHEAD
P.G. POWER POLE
P.P. PUBLIC UTILITY EASEMENT
R. RAILROAD SPIKE
RR SPIKE
STORM MH. STORM DRAIN MANHOLE
SAN. SEWER MH. SANITARY SEWER MANHOLE
TC. TOP OF CURB
W. WATER LINE
WM. WATER METER

NOTES:

1. OWNERS OF RECORD: GARY BANNISTER & JULIETTE MOON, TRUSTEES OF TRINITY MISSIONARY BAPTIST CHURCH.

2. LEGAL REFERENCE: DEED BOOK 1738, PG. 1952 (LOTS 5 & 6) INSTRUMENT # 98000889 (LOTS 7 & 8).

3. THIS PLAN IS BASED ON A CURRENT FIELD SURVEY.

4. NO TITLE REPORT FURNISHED.

5. TAX MAP NUMBERS: 2331505 (LOTS 5 & 6), 2331507 (LOT 7) & 2331508 (LOT 8).

6. THIS PROPERTY IS NOT LOCATED IN THE 100-YR SPECIAL FLOOD HAZARD ZONE AS PER F.E.M.A. FLOOD INSURANCE RATE MAP NO. 5161C0042 D WITH AN EFFECTIVE DATE OF OCTOBER 15, 1993.

7. PROPERTY IS CURRENTLY ZONED RM-1.

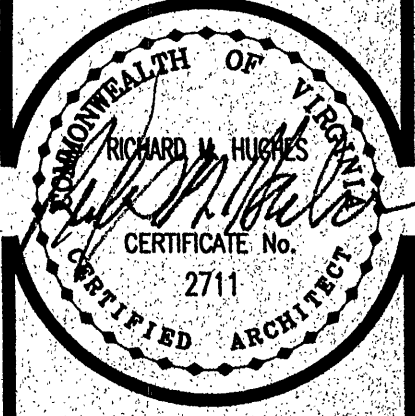
TOPOGRAPHIC SURVEY FOR R. TUCKER DESIGN LOTS 5, 6, 7 & 8 SECTION 02 MAP OF MELROSE LAND COMPANY SITUATED AT THE INTERSECTION OF CARROLL AVENUE, N.W. & 18TH STREET, N.W. CITY OF ROANOKE, VIRGINIA DECEMBER 6, 1999 JOB #9910206-A

PREPARED BY BALZER AND ASSOCIATES, INC. PLANNERS, ARCHITECTS, ENGINEERS, SURVEYORS 1208 CORPORATE CIRCLE ROANOKE, VIRGINIA 24018 TELE: (540) 772-9580, FAX: (540) 772-8050

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ADDITION TO
TRINITY MISSIONARY BAPTIST CHURCH
1814 CARROLL AVENUE ROANOKE, VIRGINIA

SITE PLAN
COVER SHEET,
DIMENSIONAL
LAYOUT &
UTILITY PLAN



COMMISSION
01001
SHEET
SP-1
NO. 5 OF 16