

LEGEND

- EXISTING BOUNDARY
- INDICATES CONCRETE AREAS

GENERAL NOTES:

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF ROANOKE REGULATIONS.
- CONSTRUCT A NOSE DOWN TRANSITION AT THE ENDS OF ALL CURBS. REFER TO DETAIL SHEET.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- CONSTRUCT THE SIDEWALK WITH A TURN DOWN NOSE SECTION WHERE ADJACENT TO ASPHALT.
- ALL CONCRETE TO BE 4,000 PSI UNLESS OTHERWISE NOTED.
- VERIFY ALL SIDEWALK CONNECTIONS ON ARCHITECTURAL PLANS.
- ALL RADII ARE 3" UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES SHALL BE 9' X 18" AND SHALL BE DELINEATED BY A 4" PAINTED WHITE STRIPE.
- ALL SIGNS (OTHER THAN TRAFFIC CONTROL SIGNS) SHALL BE SEPARATELY REVIEWED AND APPROVED AND A ZONING PERMIT ISSUED PRIOR TO INSTALLATION.
- ALL PARKING AND LOADING AREAS ARE BORDERED BY A CONCRETE CURB AND/OR CURB AND GUTTER.
- ALL GROUND LEVEL AND ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH CITY CODE SECTIONS 36.2-647 AND 649.
- A "RIGHT-OF-WAY EXCAVATION PERMIT" MUST BE OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION IN THE RIGHT-OF-WAY. THE PERMIT APPLIES TO ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO DRIVEWAY CONNECTION, SIDEWALK INSTALLATION, AND UTILITY CONNECTIONS.

SITE INFORMATION:

ZONED: CLS

TOTAL AREA = 1.53± ACRES

BUILDING AREA = 7,967sf

PROPOSED USE = CAR WASH

USE GROUP: B

BUILDING CONSTRUCTION TYPE: CONCRETE

PARKING REQUIRED = 3 SPACES

PARKING PROVIDED = 7 SPACES

PERVIOUS & IMPERVIOUS AREAS

K&W CAFETERIA		
PERVIOUS	IMPERVIOUS	TOTAL
13,053 SF (12.6%)	90,230 SF (87.4%)	103,283 SF (100%)

ULTIMATE SHINE CAR WASH		
PERVIOUS	IMPERVIOUS	TOTAL
21,047 SF (31.7%)	45,385 SF (68.3%)	66,432 SF (100%)

TOTALS FOR BOTH SITES		
PERVIOUS	IMPERVIOUS	TOTAL
34,080 SF (20.1%)	135,615 SF (79.9%)	169,715 SF (100.0%)

SIGNAGE NOTES:

- SEPARATE DRAWINGS OF THE PROPOSED DEVELOPMENT IDENTIFICATION SIGNAGE WILL BE PROVIDED BY THE ARCHITECT TO THE CITY FOR REVIEW AND APPROVAL.
- ALL SIGNS SHALL HAVE RETRO-REFLECTIVITY AND MEET FHWA, VDOT, AND MUTCD STANDARDS.

PAVING MATERIALS SCHEDULE

THICKNESS	TYPE
STANDARD CONCRETE PAVEMENT	
AGGREGATE BASE	4" VDOT TYPE 21B STONE AGGREGATE
CONCRETE PAVING	6" PCC 4000 PSI @ 28 DAYS
HEAVY CONCRETE PAVEMENT	
AGGREGATE BASE	6" VDOT TYPE 21B STONE AGGREGATE
CONCRETE PAVING	6" PCC 4000 PSI @ 28 DAYS

SITE PAVING NOTES

PAVING ELEVATION TOLERANCE

Final subgrade shall be inspected by paving contractor for required elevation and adequate compaction before commencing any paving activity. The commencement of work will be deemed as acceptance of subgrade. No allowance for additional fees will be accepted, once paving operations have commenced. Paving elevation shall not have more than 1/4" deviation in any 10' increment.

PAVING THICKNESS TOLERANCE

Paving thickness at any one core spot shall not be less than 95% of specified thickness. The average of all approved tests must be at least equal to the specified thickness for each material. Not more than 10% of all approved test may fall below specified minimums. Any area found to be less than 90% specified thickness shall be overlain with asphalt as directed by owner.

TESTING DURING PLACEMENT

Paving Contractor shall perform several spot checks of paving base thickness prior to installation of any asphaltic or concrete paving. Density tests shall be performed on each lift at the rate of one test per 5,000 square feet. Paving Contractor shall provide for testing of completed paving installation for compliance with design criteria and required thickness. Paving Contractor shall replace all non-conforming material at his own expense. Testing shall be performed only by an independent testing agent approved by owner. Test holes not spotted by owner may not be considered acceptable. Allow a minimum of sixteen core tests to be located only by written instruction by owner. The paving contractor shall repair all coring holes by filling holes with concrete flush to top of pavement.

ASPHALTIC PAVING MATERIALS

Material and installation shall be in accordance with the latest edition of the specification of the DOT of the state in which the project is located. Refer to paving materials legend.

CONCRETE

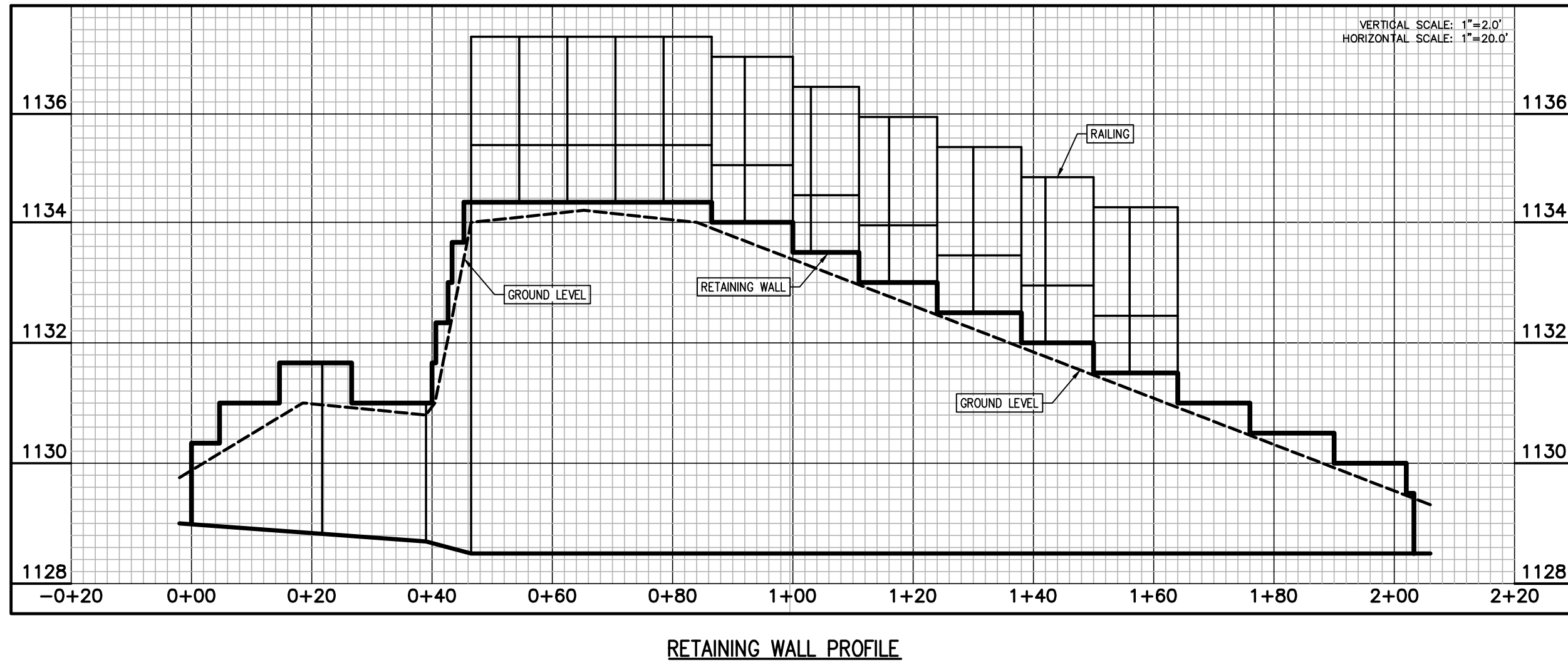
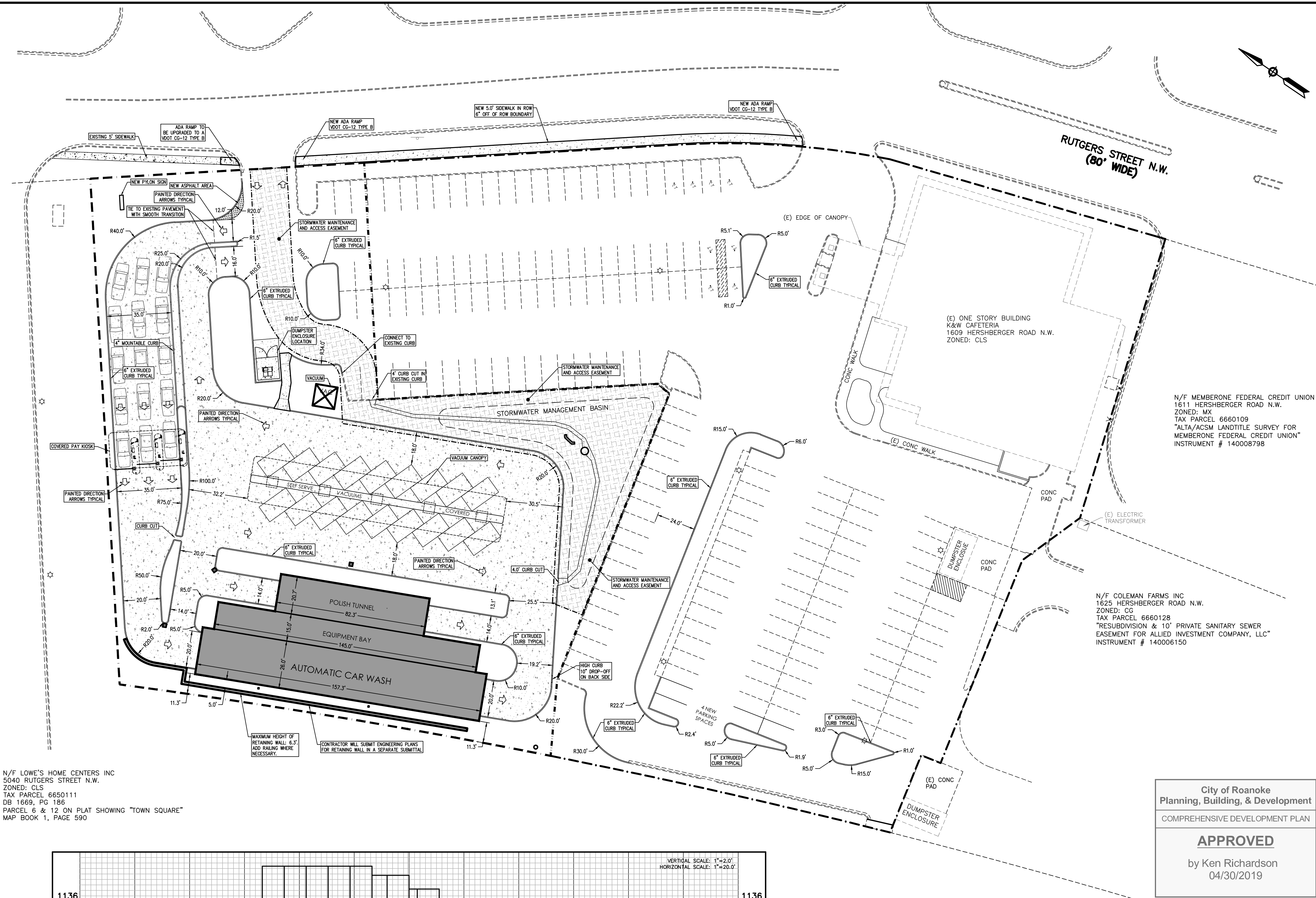
Provide toolied expansion joints @ 20' O.C. (Max) and expansion joints @ 50' O.C. Concrete curbing shall be 4000 PSI 28 day strength 2" - 3" slump, (no curb deformation) 3% - 5% air entrained. Install with RC-70 lock coat emulsion over asphalt. Provide cylinder break test - 3/500 L.F. of curbing or 1-day pour with breaks - 1 @ 7-days, 2 @ 28-days. Comply with ASTM C-31 and ASTM C-39. Also provide one slump test per 500 L.F. of curbing or 1-day pour.

PAVEMENT MARKING PAINT

Provide pavement marking as shown on the drawings. Striping shall be 4" wide. Paint shall be Sherwin-Williams Promar alkyl traffic marking paint series B-2972 or approved equal. Paint shall be applied in two coats achieving a minimum dry film thickness of 15 mils. In all cases, the marking shall be sufficient to totally cover the pavement.

STRIPING AND SIGNAGE

Shall be in accordance with the latest edition of the specification of the DOT of the state in which the project is located and MUTCD



RETAINING WALL PROFILE

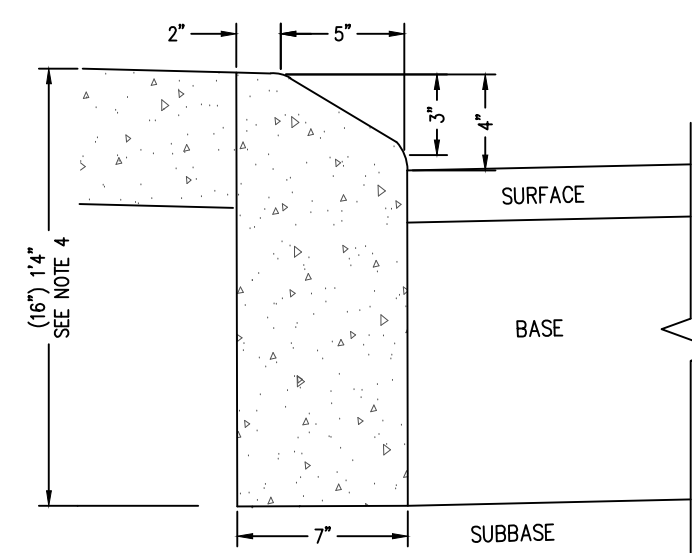


CALL THREE WORKING DAYS BEFORE YOU DIG
811
MISS VIRGINIA UTILITY
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION

NOTICE TO CONTRACTORS REGARDING EXISTING UTILITIES

Contractors are specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is approximate only. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility provider or one-call system a minimum of 72 hours before beginning any construction activities in order to verify the locations of all existing utilities. It is the responsibility of the contractor to verify the utility locations and determine if any existing utilities conflict with the proposed construction.

- NOTES:
- THIS ITEM MAY BE PRECAST OR CAST IN PLACE
 - CONCRETE TO BE CLASS A3 IF CAST IN PLACE, 4000 PSI IF PRECAST
 - CURB HAVING A RADIUS OF 300 FEET OR LESS (ALONG FACE OF CURB) WILL BE PAID FOR AS RADIAL CURB
 - THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 3" (1" DEPTH) OR INCREASE AS 3" (1" DEPTH) IN ORDER THAT THE BOTTOM OF CURB WILL COINCIDE WITH THE TOP OF A COURSE OF THE PAVEMENT SUBSTRUCTURE. OTHERWISE, THE DEPTH IS TO BE 18" AS SHOWN. NO ADJUSTMENT IN THE PRICE BID IS TO BE MADE FOR A DECREASE OR AN INCREASE IN DEPTH
 - CG-3 IS TO BE USED ON ROADWAYS MEETING THE REQUIREMENTS FOR CG-7 AS SHOWN IN APPENDIX A OF THE VDOT ROAD DESIGN MANUAL, IN THE SECTION ON GS URBAN STANDARDS
 - WHEN THIS STANDARD IS TO BE TIED INTO EXISTING BARRIER CURB, THE TRANSITION IS TO BE MADE WITHIN 10' OR THE CHANGE IN STANDARDS CAN BE MADE AT REGULAR OPENINGS



4" CURB - CG-3 - 201.02

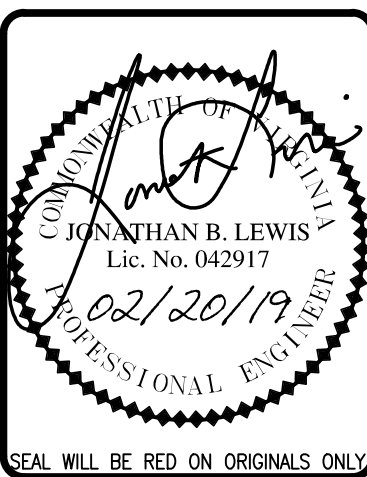
PROPOSED SITE PLAN



REV.	DATE	BY

PROPOSED CONSTRUCTION PLANS
ULTIMATE SHINE CAR WASH
RUTGERS STREET N.W., ROANOKE, VA
PROPOSED SITE PLAN

HIGHLANDS
ENGINEERING, LLC
4132 Basco Highway, Suite 2 - Johnson City, TN 37601
Phone: (423) 926-2007 E-mail: highlandseng@gmail.com



DRAWN BY:
CAS
CHECKED BY:
JBL
DATE:
02-20-19
SCALE:
1"=30'
DRAWING NAME:
WILD ROANOKE 07
SHEET NUMBER:
C2
OF
16
SHEETS