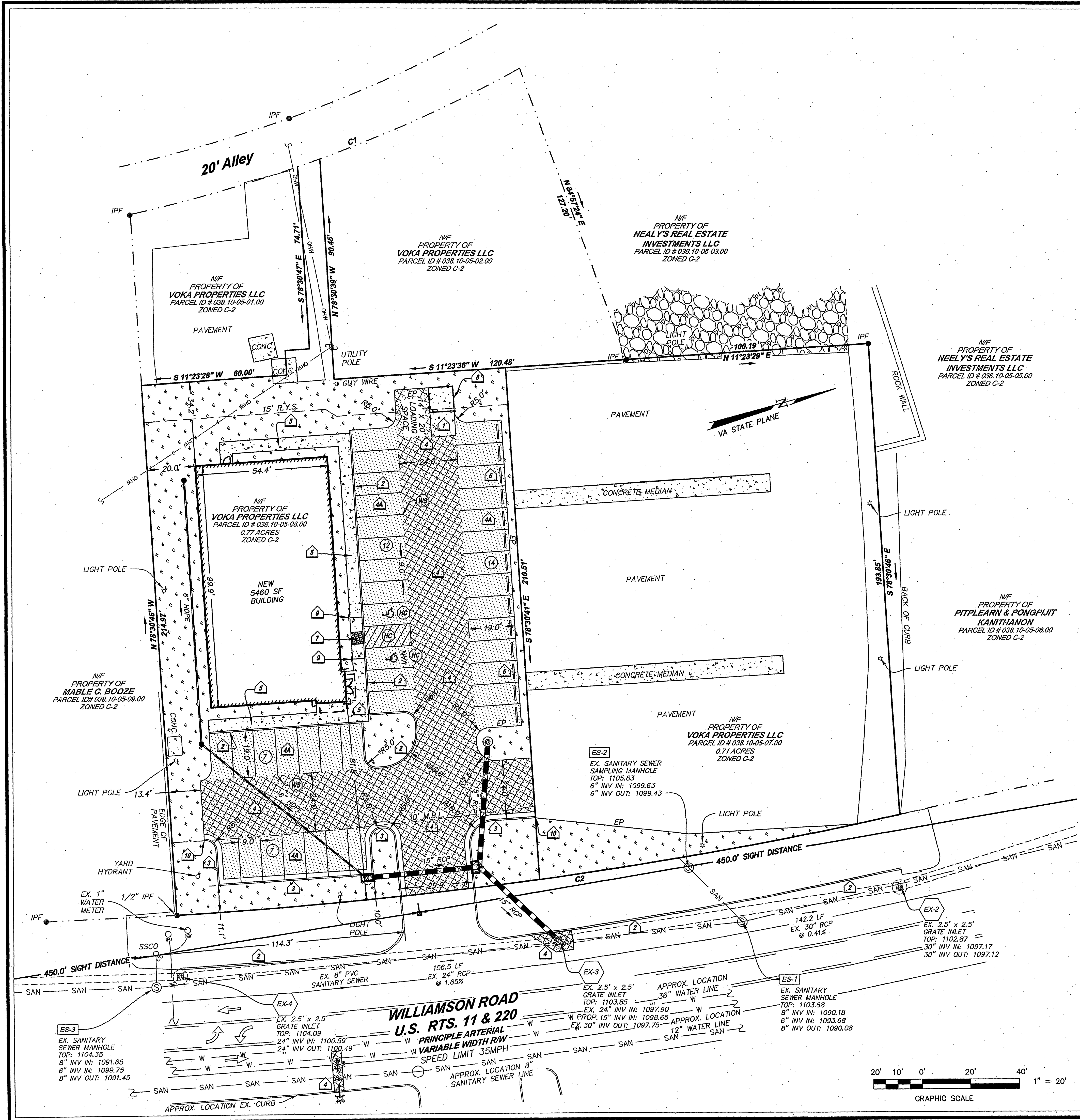




SITE LAYOUT LEGEND

- 1 10' x 20' CONCRETE DUMPSTER PAD. SEE SITE DETAILS.
- 2 VDOT STD. CG-2. SEE SITE DETAILS.
- 3 VDOT STD. CG-6. SEE SITE DETAILS.
- 4 HEAVY DUTY PAVEMENT. SEE SITE DETAILS.
- 4A LIGHT DUTY PAVEMENT. SEE SITE DETAILS.
- 5 CONCRETE SIDEWALK. SEE SITE DETAILS.
- 6 6" x 4" x 8" PARKING BLOCK (TYPICAL). SEE SITE DETAILS.
- 7 VDOT STD. CG-12B HANDICAP RAMP. SEE SITE DETAILS.
- 8 DUMPSTER ENCLOSURE. SEE SITE DETAILS.
- 9 HANDICAP SIGNS. SEE SITE DETAILS.
- 10 CURB TAPER. SEE SITE DETAILS.

STRIPPING LEGEND

- WS 4" WHITE STRIPING, (TYP.)
- HC HANDICAP STRIPING, (TYP.)

GENERAL LAYOUT NOTES:

- DIMENSIONS SHOWN ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE DENOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DETAILS AND DIMENSIONS.

ADA NOTES:

- LOCATION OF ADA PARKING IS ADJACENT TO BUILDING. DIMENSIONS OF PARKING MEET ADA REQUIREMENTS. PEDESTRIAN ACCESS IS PROVIDED. ONE VAN ACCESSIBLE SPACE IS PROVIDED. A TOTAL OF TWO ADA SPACES ARE PROVIDED.
- SLOPES OF ADA PARKING IS 2% OR LESS IN ANY DIRECTION.
- HANDICAP SIGNS ARE TO BE PLACED BETWEEN THE SIDEWALK AND BUILDING AS SHOWN.
- "VAN" DENOTES THE VAN ACCESSIBLE PARKING SPACE.
- SEE "SITE DETAILS" FOR DIMENSIONS OF ADA PARKING.

ZONING TABULATION:

TAX NUMBER(S): 038.10-05-07.00 & 038.10-05-08.00
PARCEL AREA: 0.71 ACRES & 0.77 ACRES (1.48 ACRES TOTAL)
DISTURBED AREA: 0.923 ACRES
OWNER: VOKA PROPERTIES LLC
SITE ADDRESS: 5610 WILLIAMSON RD
ZONE: C-2 GENERAL COMMERCIAL
PROPOSED USE: MEDICAL OFFICE
PARKING REQUIRED: 40 SPACES REQUESTED PER SCHEDULE B
PARKING PROVIDED: 40 SPACES INCLUDING 2 HANDICAP SPACES
LOADING SPACE REQUIRED: 1 10' X 20' SPACE
LOADING SPACE PROVIDED: 1 14' X 20' SPACE
SETBACKS:
FRONT: 30' MINIMUM (81.8' ACTUAL)
SIDE: 0' MINIMUM (20.0' ACTUAL)
REAR: 15' MINIMUM FOR PRINCIPAL STRUCTURE (34.2' ACTUAL)
MAXIMUM BUILDING HEIGHT: NONE
MAXIMUM BUILDING COVERAGE: 50% MAXIMUM (8.5% ACTUAL)
MAXIMUM LOT COVERAGE: 90% MAXIMUM
EXISTING: 91.4%
PROPOSED: 78%
WATER: PUBLIC - WVWA - UTILIZE EXISTING SERVICE
SEWER: PUBLIC - WVWA - UTILIZE EXISTING SERVICE

SIGNAGE: A SIGN PERMIT MUST BE OBTAINED PRIOR TO ANY INSTALLATION OF SIGNAGE ON-SITE. ANY SIGN MUST CONFORM TO SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.

DUMPSTER: A DUMPSTER IS PLANNED FOR THE PROJECT. ALL REFUSE SERVICE (DUMPSTER/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-5. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET.

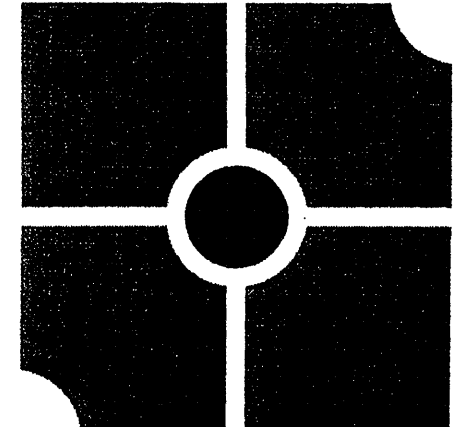
MECHANICAL EQUIPMENT: GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5. NO GROUND LEVEL EQUIPMENT IS PLANNED FOR THIS PROJECT.

STORMWATER MANAGEMENT:

THE PROPOSED PROJECT WILL REDUCE THE IMPERVIOUS AREA FROM 88.9% TO 78%.

FOR QUANTITY PURPOSES, THE REMOVAL OF IMPERVIOUS AREA WILL REDUCE THE 10-YEAR DISCHARGE RATE. A STORMWATER MANAGEMENT VARIANCE WILL BE REQUESTED PER SECTION 23-4.1(C)(5)

FOR QUALITY PURPOSES, THE REMOVAL OF IMPERVIOUS AREA WILL BE SUFFICIENT TO BRING THE SITE TO COMPLIANCE UNDER PERFORMANCE BASED CALCULATIONS.

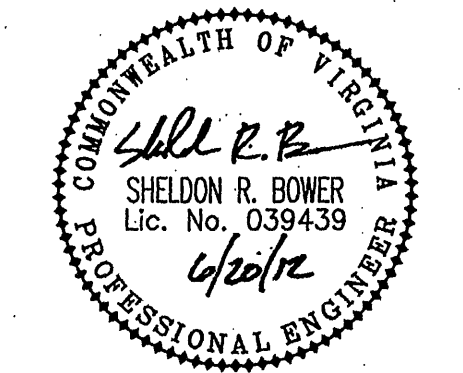


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Urgent Care Facility
Prepared For MedExpress
5610 Williamson Road
Tax No. 038.10-05-07.00 & 038.10-05-08.00
Holins Magisterial District; Roanoke County, Virginia

REVISIONS:

Per County, VDOT & WVWA Comments
16 May 2012
Per County, VDOT & WVWA Comments
20 June 2012

DESIGNED BY: SLR

DRAWN BY: SLR

CHECKED BY: SRB

SCALE: 1" = 20'

DATE: 20 March 2012

SHEET TITLE:

**Site Layout &
Dimensional Plan**

C03
03 OF 13
PROJECT NUMBER:
12-0012-02