

308 Market Street

VACO Office Building Infill

Roanoke, Virginia



ACS DESIGN

ENGINEERING • SURVEYING
LANDSCAPE ARCHITECTURE
CONSTRUCTION MANAGEMENT

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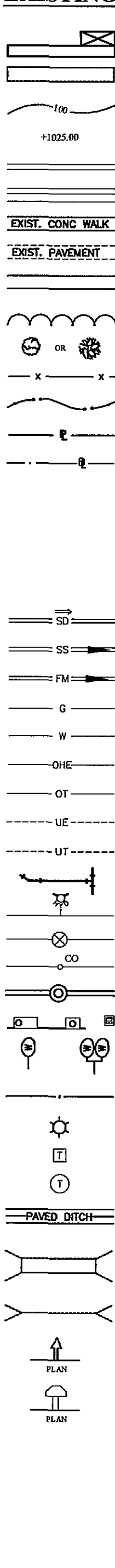
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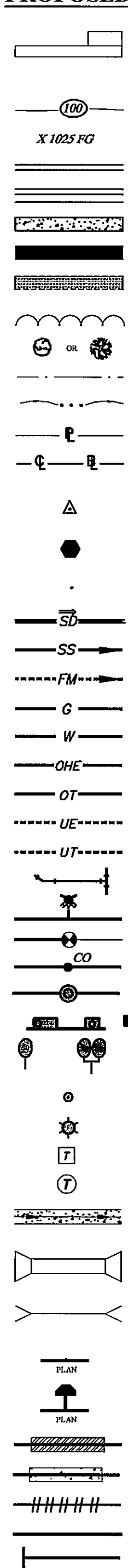
ABBREVIATIONS AND ACRONYMS

ABAN	ABANDONED	MAS	MASONRY
AC	ACRES	MATL	MATERIAL
ADJ	ADJACENT	MAX	MAXIMUM
AGGR	AGGREGATE	MB	MAIL BOX
ALUM	ALUMINUM	MBL	MINIMUM BUILDING LINE
ANC	ANCHOR	MCH	MECHANICAL
BC	BACK OF CURB	MFR	MANUFACTURER
BEG	BEGINNING	MH	MANHOLE
BIT	BITUMINOUS	MIN	MINIMUM
BJ	BELL JOINT	MJ	MECHANICAL JOINT
BL	BASE LINE	MON	MONUMENT
BLDG	BUILDING	MTL	METAL
BM	BENCH MARK	N&C	NAIL AND CAP
BO	BLOW-OFF VALVE	NBL	NORTHBOUND LANE
BSP	BLACK STEEL PIPE	NIC	NOT IN CONTRACT
BV	BUTTERFLY VALVE	NO	NUMBER
BVCE	BEGIN VERTICAL CURVE ELEVATION	NPW	NON-POTABLE WATER
BVCS	BEGIN VERTICAL CURVE STATION	NTS	NOT TO SCALE
C&G	CURB AND GUTTER	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CI	CAST IRON	OHE	OVERHEAD ELECTRIC
CL	CENTER LINE	OHU	OVERHEAD UTILITIES
CMP	CORRUGATED METAL PIPE	PC	POINT OF CURVE
CMU	CONCRETE MASONRY UNITS	PCC	POINT OF COMPOUND CURVE
CO	CLEANOUT	PER	PERMETER
COE	U.S. ARMY CORPS OF ENGINEERS	PERF	PERFORATED
COL	COLLUM	PERP	PERPENDICULAR
COMB	COMBINATION	PI	POINT OF INTERSECTION
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCTION	POL	POINT ON LINE
CONV	CONVEYOR	PP	POWER POLE
COR	CORNER	PRC	POINT OF REVERSE CURVE
CGR	CENTER	PSI	POUNDS PER SQUARE INCH
CIV	CABLE TELEVISION	PT	POINT OF TANGENT
CULV	CULVERT	PUE	PUBLIC UTILITY EASEMENT
DEPT	DEPTH	PUPPE	PUBLIC UTILITY & PEDESTRIAN PATHWAY
DPV	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DE	DRAINAGE EASEMENT	PVC	POINT OF VERTICAL CURVE
DEQ	VIRGINIA DEPARTMENT OF ENVIRONMENTAL	PVI	POINT OF VERTICAL INTERSECTION
DI	DROP INLET	PWMT	PAVEMENT
DIA. Ø	DIAMETER	R	RADIUS
DM	DIMENSION	R/W	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DISC	DISCONNECT	RD	ROAD
DMH	DROP MANHOLE	RDCR	REDUCER
DOC	DEGREE OF CURVE	REF	REFERENCE
DTL	DETAIL	REINF	REINFORCEMENT
DWG	DRAWING	REL	RELOCATED
DWL	DWELLING	REQD	REQUIRED
EAL	EASTBOUND LANE	REV	REVISION
EBL	EACH FACE	RR	RAILROAD
ELC	ELECTRIC	ROUTE	ROUTE
ELEV	ELEVATION	SE	SIDEWALK
ENGR	ENGINEER	SAN	SANITARY
ENTR	ENTRANCE	SBL	SOUTHBOUND LANE
EOL	END OF LINE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SE	SLOPE EASEMENT
EQ	EQUAL	SEC	SECTION
EQT	EQUIPMENT	SF	SQUARE FEET
EVCE	END VERTICAL CURVE ELEVATION	SHEET	SHEET
EVCS	END VERTICAL CURVE STATION	SIM	SIMILAR
EW	EACH WAY	SMH	SEWER MANHOLE
EXST	EXISTING	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
FC	FACE OF CURB	SS	SANITARY SEWER
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	SSD	SAFE STOPPING SIGHT DISTANCE
FES	FLARED END SECTION	ST	STREET
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FIG	FIGURE	SUR	SURVEY
FIN	FINISH	SVC	SERVICE
FLG	FLANGE	TEL	TELEPHONE
FM	FORCE MAIN	TEMP	TEMPORARY
FT	FOOT, FEET	TP	TELEPHONE POLE
FTG	FOOTING	TRTD	TREATED
FUT	FUTURE	TW	TOP OF WALL
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	UE	UNDERGROUND ELECTRIC
GAR	GARAGE	UG	UNDERGROUND GAS
GND	GROUND	UGD	UNDERGROUND
GOVT	GOVERNMENT	UL	UNDERWRITER'S LABORATORY
GPD	GALLONS PER DAY	UON	UNLESS OTHERWISE NOTED
GPM	GALLONS PER MINUTE	USGS	U.S. GEOLOGIC SURVEY
GR	GRAVEL	UT	UNDERGROUND TELEPHONE
GRTO	GRATING	V	VENT
H&T	HUB AND TAC	VAL	VALVE
HM	HOLLOW METAL	VAR	VARIABLE
HOR	HORIZONTAL	VC	VERTICAL CURVE
HPT	HIGH POINT	VDH	VIRGINIA DEPARTMENT OF HEALTH
HR	HOUR	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
HYD	HYDRANT	VERT	VERTICAL
ID	INSIDE DIAMETER	VESCH	VIRGINIA EROSION AND SEDIMENT CONTROL
IN	INCH	VHND	VIANDBOOK
INSL	INSULATION	VNL	VINYL
INT	INTERIOR	VOL	VOLUME
INV	INVERT	W	WATER
IPF	IRON PIN FOUND	W/	WITH
IPS	IRON PIN SET	WO	WITHOUT
L	LENGTH	WBL	WESTBOUND LANE
LF	LINEAR FOOT	WLT	WATER LINE
LP	LIGHT POLE	WM	WATER METER
LPG	LIQUID PETROLEUM	WMH	WATER MANHOLE
		WS	WATER SURFACE
		WT	WEIGHT
		WTT	WATER TIGHT
		WV	WATER VALVE

EXISTING



PROPOSED



DESCRIPTION

BUILDING WITH PORCH OR STOOP
FOUNDATION ONLY
CONTOUR, CONTOUR WITH ELEVATION
SPOT ELEVATION
CONCRETE CURB
CONCRETE CURB & GUTTER
CONCRETE WALK OR SLAB
PAVEMENT
UNPAVED OR GRAVEL ROAD
TREE LINE
TREE OR SHRUB
FENCE (EXISTING OR PROPOSED NOTED)
CENTERLINE CREEK, SWALE, DITCH
PROPERTY LINE
CENTERLINE OR BASELINE
FIELD SURVEY TRAVERSE POINT
GEOLOGIC BORE HOLE
BENCH MARK (EXISTING OR SET NOTED)
STORM DRAIN
SANITARY SEWER
FORCE MAIN
GAS MAIN OR SERVICE LINE
WATER MAIN OR SERVICE LINE
OVERHEAD ELECTRICAL LINE
OVERHEAD TELEPHONE LINE
UNDERGROUND ELECTRICAL LINE
UNDERGROUND TELEPHONE LINE
PIPE FITTINGS
FIRE HYDRANT
GATE VALVE
CLEANOUT
MANHOLE
DROP INLET (CURB AND GRATING TYPES)
WM - WATER METER
DWM - DOUBLE WATER METER
UTILITY POLE
LIGHT POLE
TELEPHONE PEDESTAL
BURIED TELEPHONE VAULT
PAVED DITCH
CULVERT WITH FLARED END SECTION
AIR RELEASE VALVE / VAULT ASSEMBLY
BLOW OFF VALVE / VAULT ASSEMBLY
STEEL ENCASEMENT
CONCRETE ENCASEMENT
ABANDON OR REMOVE
LIMITS OF DISTURBED AREA
WATERLINE PLUG

GENERAL NOTES

- The contractor shall verify and be responsible for all dimensions at the job site.
- The subject property is not located within a 100-year floodplain as determined by FEMA. The property is within FEMA zone 'X'.
- ACS DESIGN assumes no responsibility for adequacy of plans or for information on plans until such plans have been approved by the required public agencies.
- Any work commenced on a project prior to plan approval is at the sole risk of the developer.
- Source of topography is based on digital mapping, maps of record and field measurements by ACS DESIGN.
- Boundary shown on plans is based on plat by ACS DESIGN.
- Any new alignments, change in grades, alternative pipe sizes or manholes will require a new set of plans sealed by the consulting engineer.
- An approved set of plans and all permits must be available at the construction site.

PLANNING NOTES

- PROPERTY: The site is officially designated as Lot 186-A and Tax Map No. 4011404 & 4011405.
- AREA: The area of the site is 0.109 acres.
- CURRENT USE: The site is currently developed as a parking lot.
- ZONING: The site is zoned D - Downtown District.
- PROPOSED USE: The proposed use is Professional Office.
- SETBACKS REQUIREMENTS:
 - front yard: 10 feet maximum
 - rear yard: None Required, Adjacent Properties Zoned D
 - side yard: None Required, Adjacent Properties Zoned D
- DENSITY: Not Applicable
- LOT AREA, MIN. & MAX.: Not Applicable
- LOT FRONTAGE, MIN. & MAX.: Not Applicable
- BUILDING HEIGHT, MAX.: Not Applicable
- FLOOR RATIO, MAX: The maximum floor area ratio is 15. The proposed building is less than 5.
- IMPERVIOUS SURFACE RATIO, MAX.: Not Applicable
- OFF-SITE PARKING: Off site parking is required to be located within 300 feet to the lot of the use or structure served. Parking is provided along Market Street on the west side of the property and a parking lot is located at the east side of the property.
- OFF STREET PARKING ENTRANCE: 1 space per 400 square feet of proposed building. Off-Site, Off-Street parking has to be either located on land under the same ownership of the use or structure served or be subject to an Off-Site Parking Agreement found in Appendix C of the Roanoke City Zoning Ordinance. This agreement must be filed by the owner with the Clerk of Court and filed with the Zoning Administrator.
- OFF-STREET LOADING SPACE: Not required.
- LANDSCAPING: Not required.

UTILITY NOTES:

- The contractor shall notify local public utility providers of proposed construction at least two, but not more than ten working days in advance. Local public utilities may be notified through Miss Utility at (800) 552-7001.
- The developer and/or contractor shall provide copies of approved plans to all public utility companies, advising them that all grading and installation shall conform to approved plans.

SEWER NOTES:

- A minimum cover of three (3) feet is required over proposed lines.
- All existing utilities may not be shown, or may not be shown in the exact location. The contractor shall comply with State Water Works Regulations, Section 12.05.03, where lines cross.
- Laterals from manholes shall be PVC or ductile iron of sufficient length to provide two (2) feet of bearing on natural ground. The transition from ductile iron to asbestos cement or concrete pipe shall be made with an adapter coupling in the right of way.
- All trenches in existing or future highway right of ways shall be compacted according to VDOT standards.
- New sanitary sewer lines shall be SDR-35 polyvinyl chloride, and shall be installed in accordance with Western Virginia Water Authority Standards and Specifications.
- The contractor shall coordinate the connection into the existing sewer with the Western Virginia Water Authority.
- Contractor shall coordinate exact point of entry into the building with building plumbing plans for the service line.
- Sanitary sewer structures shall be precast and shall meet Western Virginia Water Authority standards and specifications for the construction of precast concrete structures.
- All sewer facilities shall be installed in accordance with Western Virginia Water Authority construction standards.

WATER NOTES:

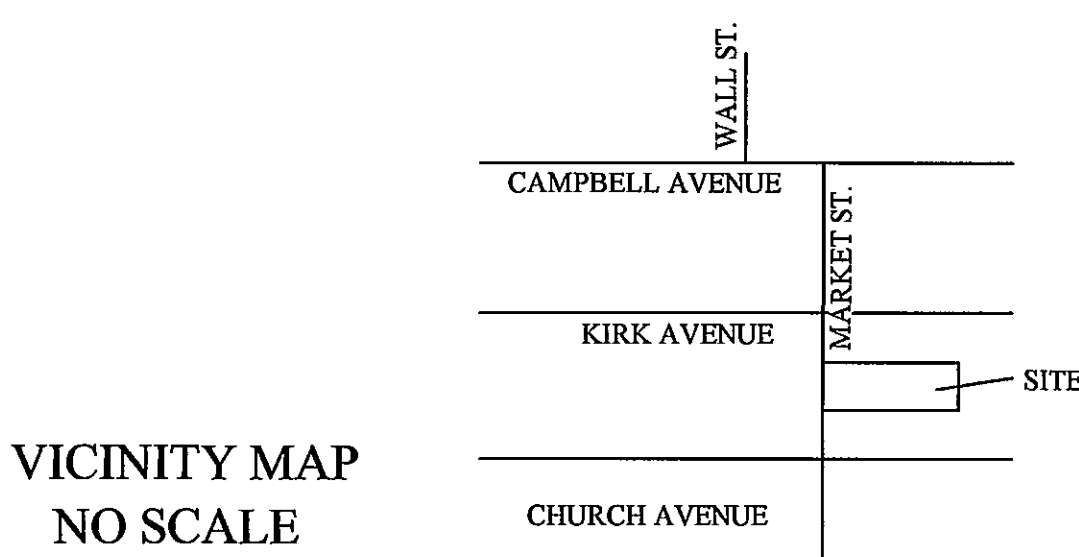
- A minimum cover of three (3) feet is required over proposed lines.
- Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.
- All existing utilities may not be shown, or may not be shown in the exact location. The contractor shall comply with State Water Works Regulations, Section 12.05.03, where lines cross.
- All trenches in existing or future highway right of ways shall be compacted according to VDOT standards.
- Lines shall be staked prior to construction.
- Water main shall be minimum Class 52 ductile iron in accordance to AWWA C151 or DR-14 in accordance with AWWA C-900.
- All water facilities shall be installed in accordance with Western Virginia Water Authority construction standards.
- Western Virginia Water Authority Availability Number 06-335.

APPROVED

Agent - City of Roanoke, Planning Commission
City Engineer - City of Roanoke

CONTACT INFORMATION

- Roanoke City Planning and Economic Development**
Conley Taylor, Development Review Coordinator
Noel C. Taylor Municipal Building
215 Church Ave., SW
Roanoke, Virginia 24011
Ph: (540) 853-1325
- Western Virginia Water Authority**
Jamie Morris
601 S. Jefferson St., Suite 300
Roanoke, Virginia 24011
Ph: (540) 853-1588



CITY OF ROANOKE CONSTRUCTION PROCEDURES

- CITY INSPECTIONS:** To ensure the coordination of timely and proper inspections a preconstruction conference shall be initiated by the contractor with the City of Roanoke Development Inspector. To arrange a conference contact the inspector at least three (3) days prior to anticipated construction.
- RIGHT OF WAY EXCAVATION PERMIT:** Prior to the commencement of any digging, alteration or construction within the public right-of-way (street alleys, public easements) a Right of Way Excavation Permit shall be applied for and obtained by the contractor from the City of Roanoke. All work shall conform to Right-of-way Excavation & Restoration Standards, Current Addition.
- PLANS AND PERMITS:** A copy of the plans approved by the City of Roanoke (signed by the proper city officials) and all permits issued by the city shall be made available at the construction site at all times of ongoing construction.
- LOCATION OF UTILITIES:** The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- CONSTRUCTION ENTRANCE:** The contractor shall install an adequate construction entrance for all construction-related egress from the site, the size and composition of the construction entrance shall be as indicated on the plans.
- STREETS TO REMAIN CLEAN:** It shall be the responsibility of the contractor to ensure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
- BARRICADES/DITCHES:** The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- SEWER AND PAVEMENT REPLACEMENT:** Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke.
- APPROVED PLANS/CONSTRUCTION CHANGES:** Any change or variation from construction design as shown on the officially approved plans shall be approved by the Development Engineer prior to said changes or variations or construction being made.
- FINAL ACCEPTANCE/CITY:** The developer or contractor shall furnish the City of Roanoke planning department with a final correct set of as-built plans prior to final acceptance by the city.
NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS
Failure to comply with the construction procedure requirements listed above may result in the costly removal of structures, time delays, or the issuance of a stop work order.

RESPONSIBLE LAND DISTURBER CERTIFICATION

Printed Name _____ Company Name & Address _____
Signature _____ Responsible Land Disturber Certification Number _____

OWNER/DEVELOPER CERTIFICATION

The Owner/Developer certifies that he/she understands the site design requirement imposed by the site development plans and other applicable County codes, as shown hereon, and agrees to comply with these plans and requirements, unless modifications to the plans are approved by Bedford County.

Owner Representative _____

STATE OF VIRGINIA

I, _____ of _____, a notary public in and for the aforesaid county and state, do hereby certify that _____, whose name is signed to the foregoing writing dated _____, has personally appeared before me in my aforesaid county and state and acknowledged the same on _____, My commission expires _____.

Notary Public _____

OWNER/DEVELOPER: Wayne A. Faddis, ARM
VACO Risk Management Program
104 Church Ave., SE
Roanoke, VA 24011
Phone: 888-822-6772

DRAWN BY:	SFE	REVISIONS:
DESIGNED BY:	DME	No. 1
CHECKED BY:	DME	No. 2
DATE:	8 DEC 2006	No. 3
JOB NUMBER:	06267	No. 4

SHEET NUMBER: C1.0
COVER SHEET