

## SITE STATISTICS:

Tax Number: 1050510  
Parcel Total Area: 0.276 acres  
Zone: CN  
Proposed Use: Bank with Drive Through Facility per special exception Granted by Board of Zoning Appeals (Appeal # 23-075-A)  
Proposed Units: One  
Maximum Building Height: 45'  
Gross Floor Area: 2750 SF  
Net Floor Area: 2063 SF  
Required Parking: Minimum parking = 1/300 SF Net Floor Area = 2063/300 = 7 spaces  
Maximum parking = 150% of minimum required = 11 spaces  
Proposed Parking Spaces: 12 spaces provided + 8 stacking spaces  
Building Setbacks:  
Front: 10' max.  
Side: N/A  
Rear: N/A  
Minimum Frontage: 200'  
Density: 1,800 SF (minimum square footage of lot area required per unit)  
Lot Area Minimum: 5,000 SF  
Lot Area Maximum: 20,000 SF  
Proposed Lot Area: 12,000 SF  
Impervious Surface Ratio: 100% max. Actual = 88.43%  
Water: Public - Western Virginia Water Authority  
Sewer: Public - Western Virginia Water Authority  
All Utility services, including electric, will be installed underground.

## WATER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A WATER LATERAL TYING INTO THE EXISTING WATER METER. SITE REQUIRES 5/8" METER & 1" WATER LINE.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

WATER MAIN SHALL BE MINIMUM CLASS 52 DUCTILE IRON IN ACCORDANCE TO AWWA C151.

APPLICATION FOR UTILITIES TO SERVE DEVELOPMENT REFERENCE WVWA.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WVWA WATER AND SEWER STANDARDS.

## SEWER NOTES:

THIS PROJECT REQUIRES THE INSTALLATION OF A COMMERCIAL SANITARY SEWER LATERAL.

THE CONTRACTOR SHALL CONTACT THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AT 853-5700 AT LEAST THREE (3) DAYS PRIOR TO REQUIRING ACTUAL CONNECTIONS.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WVWA.

COMMERCIAL CONNECTIONS ARE TO BE MADE WITH 6" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND. THE TRANSITION FROM DUCTILE IRON TO CONCRETE PIPE SHALL BE MADE WITH AN ADAPTER IN THE RIGHT OF WAY.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VDOT STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION AND FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE WVWA DESIGN AND CONSTRUCTION STANDARDS AND DETAILS, FIRST EDITION, DATED JULY 2004.

# SITE DEVELOPMENT PLANS

FOR  
RIFE & WOOD ARCHITECTS

## VALLEY BANK

2101 CRYSTAL SPRING AVENUE

ROANOKE, VA

OCTOBER 3, 2007

REVISED DECEMBER 18, 2007

Miss Utility of Virginia  
204 RIVERS BEND BOULEVARD  
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN VIRGINIA CALL 1-800-552-7001  
VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.

## STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

**RIGHT-OF-WAY EXCAVATION PERMIT:** Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

**LAND DISTURBANCE PERMIT:** An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

**PLANS AND PERMITS:** A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

**LOCATION OF UTILITIES:** The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

**CONSTRUCTION ENTRANCE:** The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

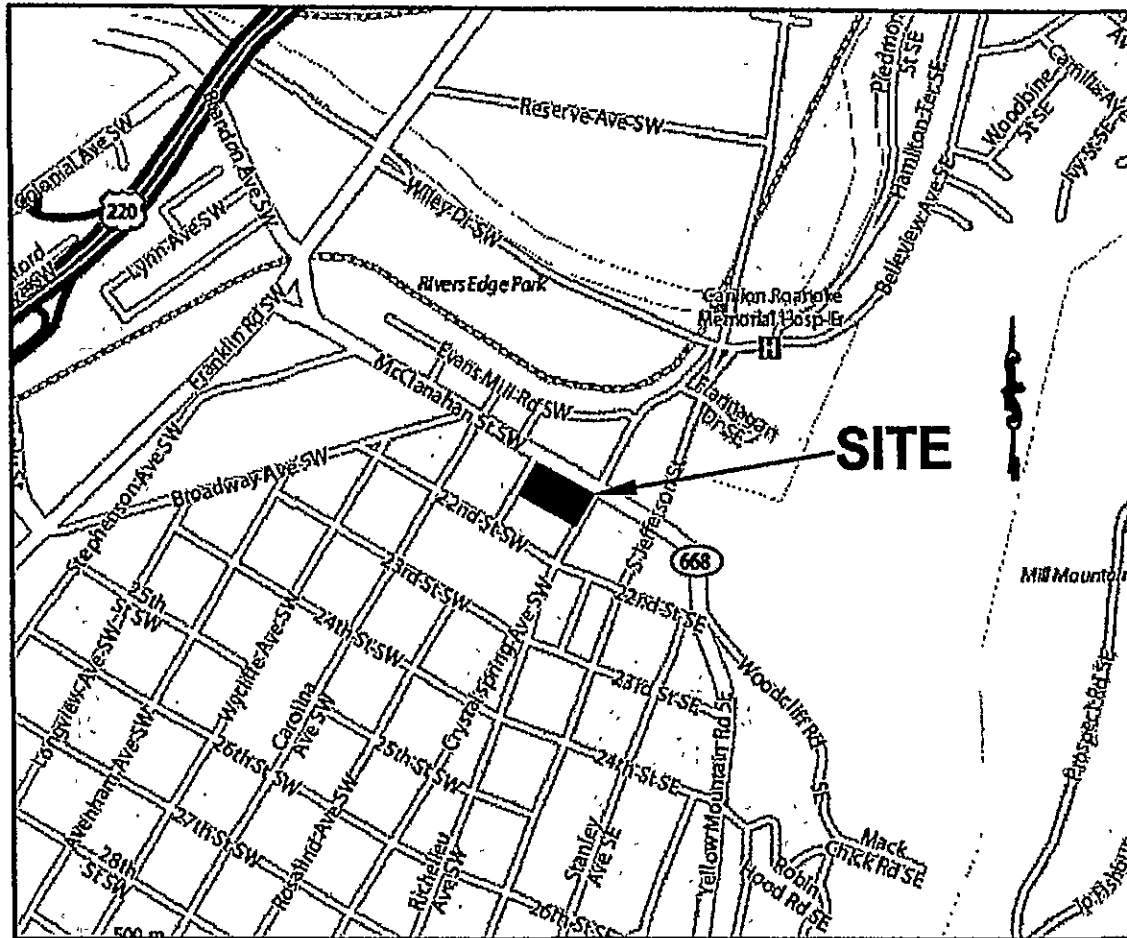
**STREETS TO REMAIN CLEAN:** It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

**BARRICADES/DITCHES:** The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

**SEWER AND PAVEMENT REPLACEMENT:** Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

**APPROVED PLANS/CONSTRUCTION CHANGES:** Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

**FINAL ACCEPTANCE/CITY:** The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.



VICINITY MAP

SCALE: 1" = 1,000'

## CONTACT INFORMATION:

**Engineer & Surveyor:** Parker Design Group  
816 Boulevard  
Salem, Virginia 24153  
Ph: 540.387.1153 Fax: 540.389.5767

**Owner:** Maury L. Strauss  
5104 Bernard Drive SW  
Roanoke, Virginia 24018  
Ph: 540.774.4800 Fax: 540.989.7062

**Developer:** Valley Bank  
36 Church Avenue SW  
Roanoke, Virginia 24011  
Ph: 540.342.2265 Fax: 540.342.4514

**Architect:** Rife & Wood Architects  
1326 Grandin Road  
Roanoke, Virginia 24015  
Ph: 540.344-6015 Fax: 540.344-5982

## SHEET INDEX:

C01 COVER SHEET  
C02 EXISTING CONDITIONS & DEMOLITION PLAN  
C03 SITE DIMENSIONAL & UTILITY PLAN  
C04 GRADING & EROSION & SEDIMENT CONTROL PLAN  
C05 EROSION & SEDIMENT CONTROL NOTES & DETAILS  
C06 GENERAL DETAILS  
C07 LIGHTING PLAN

## LEGEND:

	CONCRETE		TYPICAL YARD HYDRANT		EX. POWER POLE
	ASPHALT PAVING		PROP. FIRE HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. AIR RELEASE VALVE		EX. TELEPHONE PEDestal
	GRAVEL		PROP. GATE VALVE		EX. LIGHT POLE
	PAVERS		PROP. BLOW OFF VALVE		BENCHMARK
	WETLAND AREA				
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	EXIST. OVERHEAD POWER		PROP. STORM SEWER LINE		
	EXIST. WATER LINE		PROP. CONTOURS		
	EXIST. OVERHEAD CABLE		EXIST. 2' CONTOURS		
	EXIST. CENTERLINE OF ROAD		EXIST. 10' CONTOURS		
	EXIST. STORM SEWER		PROP. SPOT ELEVATION		
	EXIST. SANITARY SEWER		SILT FENCE		
	PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	PROP. UNDERGROUND ELEC. SERVICE		RESOURCE MANAGEMENT AREA BOUNDARY		
	PROP. WATERLINE		RESOURCE PROTECTION AREA BOUNDARY		
	PROP. AUDIO CABLE		DITCH LINE		
	EXIST. TREE LINE				
	EXIST. EDGE OF PAVEMENT				

SEE SHEET C05 FOR EROSION AND SEDIMENT CONTROL LEGEND.

## GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within  $\pm 2$  percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke, VDOT, and VA ESCH standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and radii referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- The contractor or developer is required to notify the City of Roanoke Engineering Division in writing at least three (3) days prior to any construction, including, but not limited to the following:

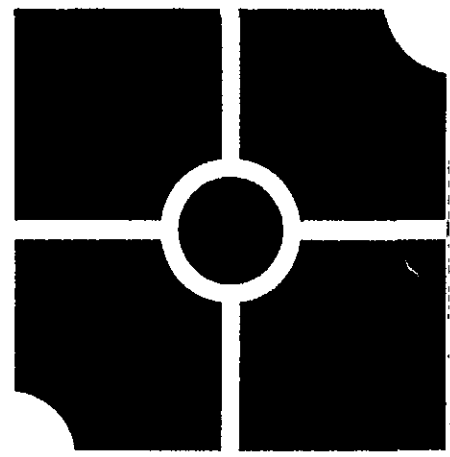
- A. Installation of approved erosion control devices
- B. Clearing and grubbing N/A
- C. Subgrade excavation
- D. Installing storm sewers or culverts
- E. Placing gravel base
- F. Placing any roadway surface
- G. Installing water lines
- H. Installing sanitary sewer lines

N/A = Not Anticipated for this project.

- A pre-construction conference should be scheduled with the City of Roanoke, to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the paved area before placing embankment.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- Field corrections shall be approved by the City of Roanoke prior to such construction.
- 100 year floodway and floodplain information shall be shown where applicable.
- Grade stakes shall be set for building & all curb & gutter.
- All new utilities shall be installed underground per the City of Roanoke requirements.

## LOCAL APPROVALS:

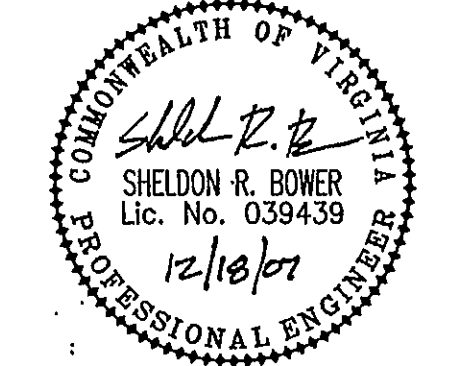
DEVELOPMENT PLAN APPROVED	
Agent, Planning Commission	Date 2/26/08
Development Engineer	Jenneth Richardson 2/26/08
Zoning Administrator	Theresa C. Anderson 2/26/08
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	



**parker**  
DESIGN GROUP  
ENGINEERS • SURVEYORS • PLANNERS • LANDSCAPE ARCHITECTS

816 Boulevard  
Salem, Virginia 24153  
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www.parkerdg.com

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**Valley Bank - Crystal Springs**  
**Prepared for Rife & Wood Architects**  
Situate at 2101 Crystal Springs Avenue, S.W.  
Roanoke, VA

**REVISIONS:**  
Revisions per Roanoke City comments November 15, 2007  
Revisions per Roanoke City comments December 18, 2007

DESIGNED BY: SRB  
DRAWN BY: SLR  
CHECKED BY: SRB  
SCALE: N/A  
DATE: October 3, 2007

SHEET TITLE: Cover Sheet

**C01**  
01 OF 07  
PROJECT NUMBER:  
07-0280-01