

EROSION AND SEDIMENT CONTROL MEASURES:

PROVIDE THE FOLLOWING:

- CE CONSTRUCTION ENTRANCE MEETING VA ESCH STD. & SPEC. 3.02
- STB STRAW BALE BARRIER VA ESCH STD. & SPEC. 3.04
- SF SILT FENCE MEETING VA ESCH STD. & SPEC. 3.05
- RWD RIGHT OF WAY DIVERSION MEETING VA ESCH STD. & SPEC. 3.11
- TS TEMPORARY SEEDING MEETING VA ESCH STD. & SPEC. 3.31
- PS PERMANENT SEEDING MEETING VA ESCH STD. & SPEC. 3.32

SSMH
TOP = 93.45
15" INV. IN = 88.92
15" INV. IN = 86.64
15" INV. OUT = 86.69

12" WATERLINE

McCLANAHAN STREET, S.W.

80' RIGHT OF WAY

12' ALLEY

CRYSTAL SPRING AVENUE, S.W.
80' RIGHT OF WAY
(FORMERLY VIRGINIA AVENUE)

6" WATERLINE

PROPOSED
1-STORY BUILDING

WATERPROOF
BUILDING

CONTRACTOR TO COORDINATE DRIVE THRU
CONSTRUCTION WITH ARCHITECTURAL
PLANS. ANY CONFLICTS SHALL BE
COORDINATED WITH ENGINEER.

DRIVE THRU WINDOW

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

ELEVATIONAL CONTROL:

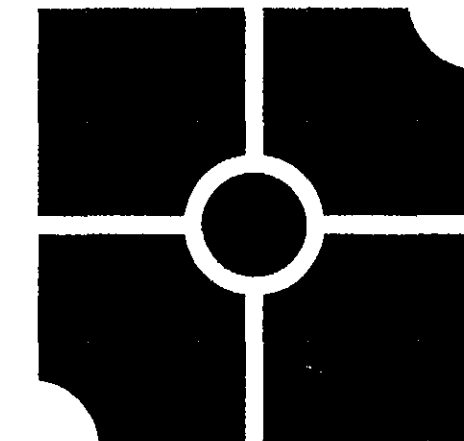
1. ELEVATIONS SHOWN ARE BASED UPON FIELD SURVEY COMPLETED BY PARKER DESIGN GROUP DATED 05-09-06.
2. ELEVATIONS SHOWN ARE BASED UPON ASSUMED DATUM.
3. BENCHMARKS ARE SHOWN ON THESE PLANS. ADDITIONAL BENCHMARKS MAY BE ESTABLISHED DURING CONSTRUCTION.

GRADING NOTES:

1. PRIOR TO ANY GRADING, THE CONTRACTOR SHALL INSTALL THE REQUIRED INITIAL EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN AND NOTED IN THE NARRATIVE.
2. THE CONTRACTOR SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR DETAILS AND SPECIFICATIONS OF THOSE EROSION CONTROL ITEMS FOUND ON THESE DRAWINGS. REFERENCE IS DIRECTED TO THE "EROSION CONTROL NARRATIVE & DETAILS".
3. THE LIMITS OF CONSTRUCTION WILL INCLUDE THE ENTIRE 0.3 +/- ACRES.
4. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH "MISS UTILITY" AND THE LOCAL UTILITY COMPANIES TO HAVE UTILITIES MARKED PRIOR TO GRADING. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING ANY CONSTRUCTION. PARKER DESIGN GROUP DOES NOT WARRANT THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN.
5. THE CONTRACTOR SHALL PROVIDE ALL SITE GRADING, GENERAL EXCAVATION, UTILITY TRENCHING & BACKFILLING, AND FINISH GRADING AS INDICATED ON THE DRAWINGS. WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS. ALL FILLS AND BACKFILLS SHALL BE UNIFORMLY COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
5. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES.
6. THE CONTRACTOR SHALL STOCKPILE ANY AVAILABLE TOPSOIL AND PLACE THE TOPSOIL AT THE COMPLETION OF THE PROJECT.
7. ALL EARTH SLOPES AND DENUDED AREAS SHALL BE SEEDED AND MULCHED AS REQUIRED FOR STABILIZATION WITHIN SEVEN (7) DAYS OF COMPLETION OF EXCAVATION OPERATIONS. REFERENCE IS DIRECTED TO THE SEEDING REQUIREMENTS.

OFFSITE WASTE/BORROW NOTE:

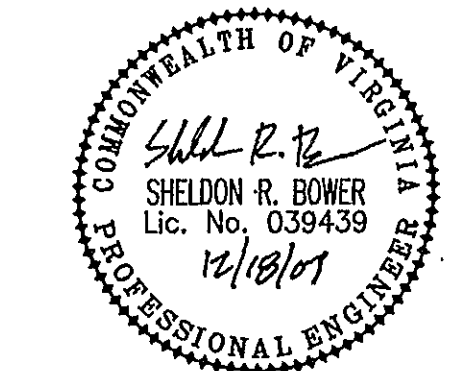
THE PROPOSED DEVELOPMENT DOES NOT ANTICIPATE OFF-SITE WASTE AREAS; HOWEVER, SHOULD THE PROJECT REQUIRE OFF-SITE WASTE AREAS OR BORROW AREAS, THE LOCATION OF THESE AREAS ASSOCIATED WITH THE CONSTRUCTION PROJECT WILL BE PROVIDED TO CITY OF ROANOKE PLANNING, BUILDING AND DEVELOPMENT DEPARTMENT. EROSION CONTROL PLANS OR MEASURES MAY BE REQUIRED FOR THESE OFF-SITE LOCATIONS.



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Valley Bank - Crystal Springs
Prepared for Rife & Wood Architects
Situating at 2101 Crystal Spring Avenue S.W.
Roanoke, Virginia

REVISIONS:

Revisions per Roanoke City comments
November 15, 2007
Revisions per Roanoke City comments
December 19, 2007

DESIGNED BY: **SRB**

DRAWN BY: **AAS**

CHECKED BY: **SRB**

SCALE: **1" = 10'**

DATE: **October 3, 2007**

SHEET TITLE:
**Grading & Erosion &
Sediment Control
Plan**

C04

04 OF 07

PROJECT NUMBER:

07-0280-01