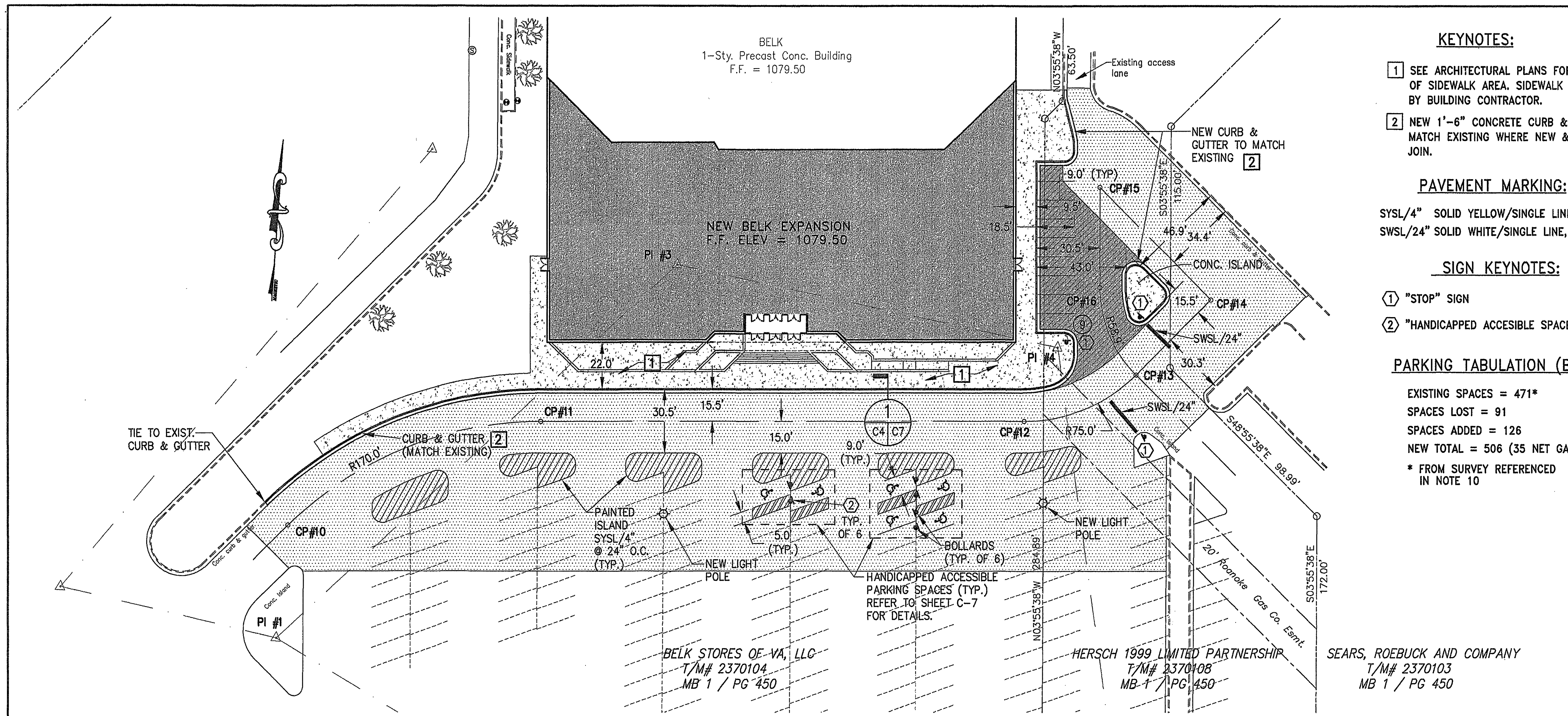




KEYNOTES:

- SEE ARCHITECTURAL PLANS FOR DETAILS OF SIDEWALK AREA, SIDEWALK & PLAZA BY BUILDING CONTRACTOR.
- NEW 1'-6" CONCRETE CURB & GUTTER. MATCH EXISTING WHERE NEW & EXISTING JOIN.

PAVEMENT MARKING:

SYSL/4" SOLID YELLOW/SINGLE LINE, 4" WIDE
SWSL/24" SOLID WHITE/SINGLE LINE, 24" WIDE

SIGN KEYNOTES:

- "STOP" SIGN
- "HANDICAPPED ACCESSIBLE SPACE" SIGN

PARKING TABULATION (BELK):

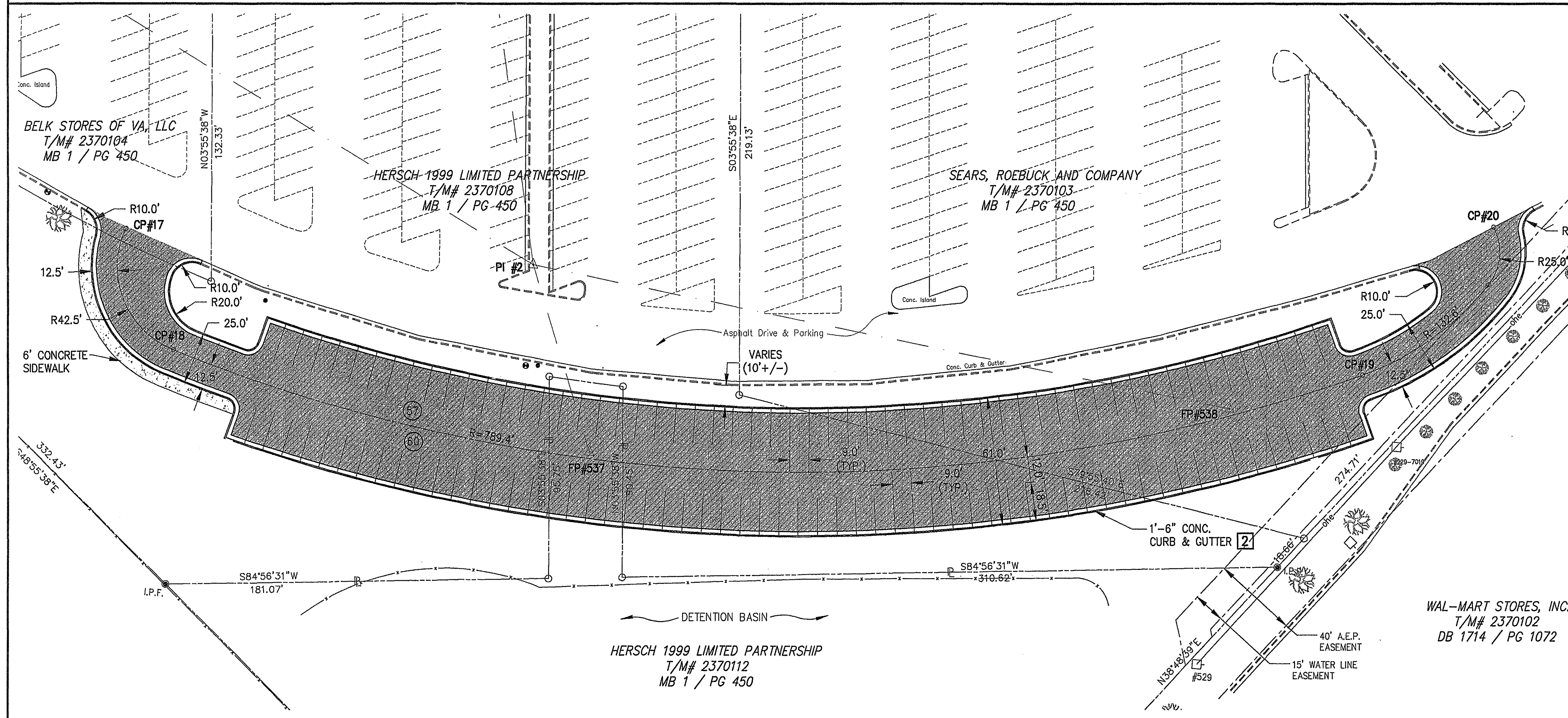
EXISTING SPACES = 471*
SPACES LOST = 91
SPACES ADDED = 126
NEW TOTAL = 506 (35 NET GAIN)
* FROM SURVEY REFERENCED IN NOTE 10

GENERAL NOTES:

- THE LOCATION OF EXISTING UTILITIES, INCLUDING UNDERGROUND UTILITIES, IS INDICATED ON THE DRAWINGS INsofar AS THEIR EXISTENCE AND LOCATION WERE KNOWN AT THE TIME OF THE PREPARATION OF THE DRAWINGS. HOWEVER, NOTHING IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS A GUARANTEE THAT SUCH UTILITIES ARE IN THE LOCATION INDICATED OR THAT THEY ACTUALLY EXIST, OR THAT OTHER UTILITIES ARE NOT WITHIN THE AREA OF OPERATIONS. THE CONTRACTOR SHALL MAKE ALL NECESSARY INVESTIGATIONS TO DETERMINE THE EXISTENCE AND LOCATIONS OF SUCH UTILITIES. THE CONTRACTOR SHALL PAY FOR ANY DAMAGE TO AND FOR ANY MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- EXISTING TOPOGRAPHIC INFORMATION IS TAKEN FROM FIELD SURVEYS PERFORMED BY MATTERN & CRAIG, INC. SEPTEMBER, 2000.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" (1-800-552-7001) 48 HOURS PRIOR TO WORKING IN THE VICINITY OF THE EXISTING UTILITIES.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB.
- CONTRACTOR SHALL RESET TREES INDICATED UPON COMPLETION OF FINAL GRADING. IF TREES DO NOT SURVIVE BEING RESET THE CONTRACTOR SHALL REPLACE TREES WITH A LIKE KIND.
- PAVEMENT SHALL BE TYPE A - REGULAR DUTY PAVEMENT EXCEPT WHERE OTHERWISE INDICATED.
- UNLESS OTHERWISE NOTED ALL CURB RADII = 4'-6".
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS
- THE PROPERTY LINES SHOWN HEREON ARE TAKEN FROM A SURVEY PREPARED BY F. DONALD LAWRENCE & ASSOCIATES, P.A. THE BEARINGS SHOWN ARE TAKEN FROM THE SURVEY AND DO NOT MATCH THE AZIMUTHS OF THE DESIGN SURVEY.

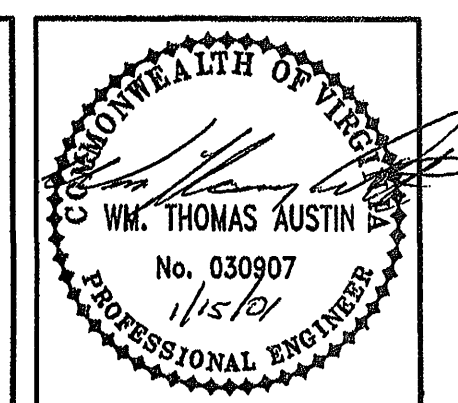
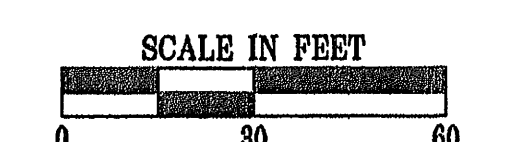
LEGEND

- ASPHALT SEAL COAT OF EXISTING PAVEMENT
- NEW ASPHALT PAVEMENT
- NEW CONCRETE SIDEWALK
- NO. OF PARKING SPACES



COORDINATE LIST:

POINT	NORTHING	EASTING	DESC.
1	3636904.7562	11056932.7536	PI PK
2	3636675.4553	11057374.3817	PI IP
3	3637095.5128	11057109.2984	PI PK
4	3637069.0619	11057292.0085	PI PK
537	3636588.7238	11057407.3136	FP H/T
538	3636630.9433	11057708.6543	FP H/T
10	3636958.9735	11056934.4865	CP
11	3637016.6029	11057050.1763	CP
12	3637033.1363	11057278.7592	CP
13	3637058.8922	11057330.0869	CP
14	3637096.8621	11057362.9621	CP
15	3637146.5948	11057306.6385	CP
16	3637098.9877	11057310.0819	CP
17	3636678.7612	11057181.1552	CP
18	3636622.9388	11057207.6490	CP
19	3636651.6648	11057770.2114	CP
20	3636726.0848	11057827.1766	CP



Date	01/10/01
Revisions	
1	Miscellaneous Revisions

Commission No.: 1912	Drawn By: MRL/ARB	Designed By: MRL	Checked By: WTA
Date:			

Mattern & Craig
CONSULTING ENGINEERS • SURVEYORS
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BELK EXPANSION AND PARKING ADDITION DIMENSIONAL LAYOUT

VALLEY VIEW MALL, ROANOKE, VIRGINIA

Vertical Scale:

Horizontal Scale:
1"=30'

Issue Date:
NOVEMBER, 2000

Sheet No.:
C-4